

CITY OF YUBA CITY
STAFF REPORT

Date: November 5, 2019
To: Honorable Mayor & Members of the City Council
From: Public Works Department
Presentation by: Benjamin Moody, Interim Assistant Public Works Director

Summary

Subject: Landscape Maintenance Agreement Amendment – Sullivan Family Limited Partnership

Recommendation: A. Adopt a Resolution amending the Landscape Maintenance Agreement with the State of California, dated October 22, 2014, for the maintenance of developed property within the State of California State Route 20 right-of-way associated with John L. Sullivan Dodge Chrysler Jeep RAM, located at 950 Harter Parkway.

B. Adopt a Resolution amending the Landscape Maintenance Agreement with the property owners of 950 Harter Parkway, Sullivan Family Limited Partnership, dated September 16, 2014, for the maintenance of developed property within the State of California State Route 20 right-of-way.

Fiscal Impact: None – The City will continue to pass on the responsibilities and costs of facilities maintenance to the property owner through the execution of the Landscape Maintenance Agreement Amendment.

Purpose:

To provide for maintenance of landscaping and associated improvements installed in the State of California right-of-way within City limits.

Background:

John L. Sullivan Dodge Chrysler Jeep RAM and Yuba City Toyota dealerships were constructed adjacent to Harter Parkway and State Route 20 in 2014. As part of their improvements, both dealerships installed landscaping and decorative fencing within the state right-of-way. When improvements are constructed within state right-of-way, the State of California, through the Department of Transportation (Caltrans), requires the execution of a Landscape Maintenance Agreement with the City to ensure that any landscaping and/or fencing constructed within state right-of-way are maintained in accordance with their standards. Agreements with Sullivan Family Limited Partnership (Sullivan), Sutter Partners LLC (Toyota), and Caltrans were executed with the City on September 16, 2014, October 7, 2014, and October 22, 2014 respectively.

In 2019, Sullivan constructed improvements expanding their lot one hundred thirty-two feet to the west, which included constructing landscape and fence to match the existing improvements within the state right-of-way. With the landscaping and fencing portion of the expansion taking place within state right-of-way, Caltrans has requested an amendment be made to include these new areas within the original agreement between the City and Caltrans. As a result, the City is also requesting an amendment to the agreement between the City and Sullivan.

Analysis:

The attached amendment to the agreement with Caltrans ensures that the expanded area for landscaping and fencing within state right-of-way will be maintained in a neat and attractive manner by the City. If the City were to fail to meet the terms of the agreement, the State could take over the maintenance functions or require that the right-of-way be restored to its prior condition at the City's expense.

The City will pass on these maintenance and fiscal responsibilities assigned to the City through the Caltrans amended agreement to the property owners of 950 Harter Parkway through the execution of an agreement amendment with the property owners. This will satisfy the City's requirements as the responsible party according to the State's standards.

Fiscal Impact:

There is no fiscal impact to the City. The City will pass on the responsibilities and costs of facilities maintenance to the property owners through the execution of the amendment with the Sullivan Family Limited Partnership.

Alternatives:

Do not enter into the agreements with the State and/or property owner. This will impact development of the property. Failure to enter into these agreements would leave the area to be maintained by Caltrans and not allow for the improvements to be installed. Historically, businesses have had concerns that Caltrans does not provide a level of service for areas adjacent to the developments.

Recommendation:

- A. Adopt a resolution amending the Landscape Maintenance Agreement with the State of California, dated October 22, 2014, for the maintenance of developed property within the State of California State Route 20 highway right-of-way associated with John L. Sullivan Dodge Chrysler Jeep RAM, located at 950 Harter Parkway.
- B. Adopt a resolution amending the Landscape Maintenance Agreement with the property owners of 950 Harter Parkway, Sullivan Family Limited Partnership, dated September 16, 2014, for the maintenance of developed property within the State of California State Route 20 highway right-of-way.

Attachments:

- 1. Resolution – Amendment to Agreement with State of California
 - a. Amendment No. 1 to Landscape Maintenance Agreement with State of California

2. Resolution – Amendment to Agreement with Property Owner
 - a. Amendment No. 1 to Landscape Maintenance Agreement with Property Owner
3. Exhibit – Vicinity Map

Prepared by:

/s/ Joshua G. T. Wolfe

Joshua G. T. Wolfe
Assistant Engineer

Submitted by:

/s/ Michael Rock

Michael Rock
City Manager

Reviewed by:

Public Works Director

BM

Finance Director

SM

City Attorney

SLC by email

ATTACHMENT 1

RESOLUTION NO. _____

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF YUBA CITY
AMENDING THE LANDSCAPE MAINTENANCE AGREEMENT WITH THE STATE OF
CALIFORNIA DATED OCTOBER 22, 2014 FOR THE MAINTENANCE OF DEVELOPED
PROPERTY WITHIN THE STATE OF CALIFORNIA STATE ROUTE 20 RIGHT-OF-WAY
ASSOCIATED WITH JOHN L. SULLIVAN CHRYSLER JEEP RAM, LOCATED AT 950
HARTER PARKWAY**

WHEREAS, John L. Sullivan Dodge Chrysler Jeep RAM, located at 950 Harter Parkway south of State Route 20, and Yuba City Toyota, located at 955 Harter Parkway south of State Route 20, constructed improvements adjacent to State Route 20 and Harter Parkway in 2014, with portions of work adjacent to State Route 20 that were in state right-of-way; and,

WHEREAS, the City of Yuba City entered into Landscape Maintenance Agreements with Sullivan Limited Partnership (Sullivan), Sutter Partners LLC (Toyota), and the Department of Transportation (Caltrans) on September 16, 2014, October 7, 2014, and October 22, 2014 respectively, to delegate maintenance responsibilities for the portions of land within state right-of-way; and,

WHEREAS, through the 2019 expansion of Sullivan, the property owners are currently constructing improvements including landscaping and fencing within state right-of-way westerly one hundred thirty-two feet; and,

WHEREAS, the State of California, through Caltrans, requires an amendment to the existing agreement with the City of Yuba City regarding the maintenance of said expansion area.

NOW THEREFORE BE IT RESOLVED and ordered by the City Council of the City of Yuba City as follows:

1. The Mayor is hereby authorized and directed to execute on behalf of the City of Yuba City that certain Amendment to the Landscape Maintenance Agreement in the City of Yuba City between the City of Yuba City and the State of California, through the Department of Transportation.
2. A copy of said Amendment in the City of Yuba City is attached hereto for reference.

The foregoing Resolution was duly and regularly introduced, passed, and adopted by the City Council of the City of Yuba City at a regular meeting thereof held on the 5th day of November 2019.

AYES:

NOES:

ABSENT:

Shon Harris, Mayor

ATTEST:

Patricia Buckland, City Clerk

APPROVED AS TO FORM
COUNSEL FOR YUBA CITY:

Shannon L. Chaffin, City Attorney
Aleshire & Wynder, LLP

Attachment(s):

- A. Amendment to Landscape Maintenance Agreement with State of California.

ATTACHMENT A

AMENDMENT NO. 1 TO LANDSCAPE MAINTENANCE
AGREEMENT WITHIN STATE HIGHWAY RIGHT OF WAY
ON ROUTE 20 WITHIN THE CITY OF YUBA CITY

This AMENDMENT NO. 1 to the Landscape Maintenance Agreement identified below (AMENDMENT), entered into and effective on _____, 2019, is between the State of California, acting by and through its Department of Transportation, referred to herein as "STATE", and the City of Yuba City, hereinafter referred to as "CITY" and collectively referred to as "PARTIES".

RECITALS:

1. STATE and CITY, collectively referred to herein as "PARTIES", entered into an agreement on October 22, 2014, entitled "Landscape Maintenance agreement within State Highway Right of Way on Route 20 within the City of Yuba City" (AGREEMENT). AGREEMENT defined the terms and conditions applicable to CITY's maintenance of landscaping, irrigation systems, and the non-standard fence within STATE right of way along State Route 20, as shown in Exhibit A of AGREEMENT.
2. The purpose of this AMENDMENT is to assign and expand the maintenance responsibilities for the landscape, irrigation systems, (collectively the "LANDSCAPING") and the non-standard fence (hereafter the "FENCE") placed within the State Highway right of way on State Route 20, as shown on Exhibit A "Revised", attached to and made a part of this AGREEMENT.
3. STATE and CITY desire to amend AGREEMENT as provided herein.

IT IS THEREFORE MUTUALLY AGREED:

4. Article 1 of AGREEMENT is hereby deleted and replaced in its entirety to read as follows:

"1. PARTIES desire to work together to allocate their respective obligations relative to newly constructed or revised improvements within STATE's right of way by Encroachment Permit Numbers 0313-6FN0500, 0313-6LC0723, and 0319-6LC0149."
5. Exhibit "A" of AGREEMENT is hereby deleted and replaced by Exhibit A "Revised".
6. All other terms and conditions of AGREEMENT shall remain in full force and effect.
7. AMENDMENT is hereby deemed to be included and made a part of AGREEMENT.

IN WITNESS WHEREOF, PARTIES hereto have set their hands and seals the day and year first above written.

THE CITY OF YUBA CITY

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION

By: _____
Mayor

BOB FRANZOIA
Director of Transportation (A)


By: _____
Amarjeet S. Benipal
District 3 Director

ATTEST:

By: _____
Clerk

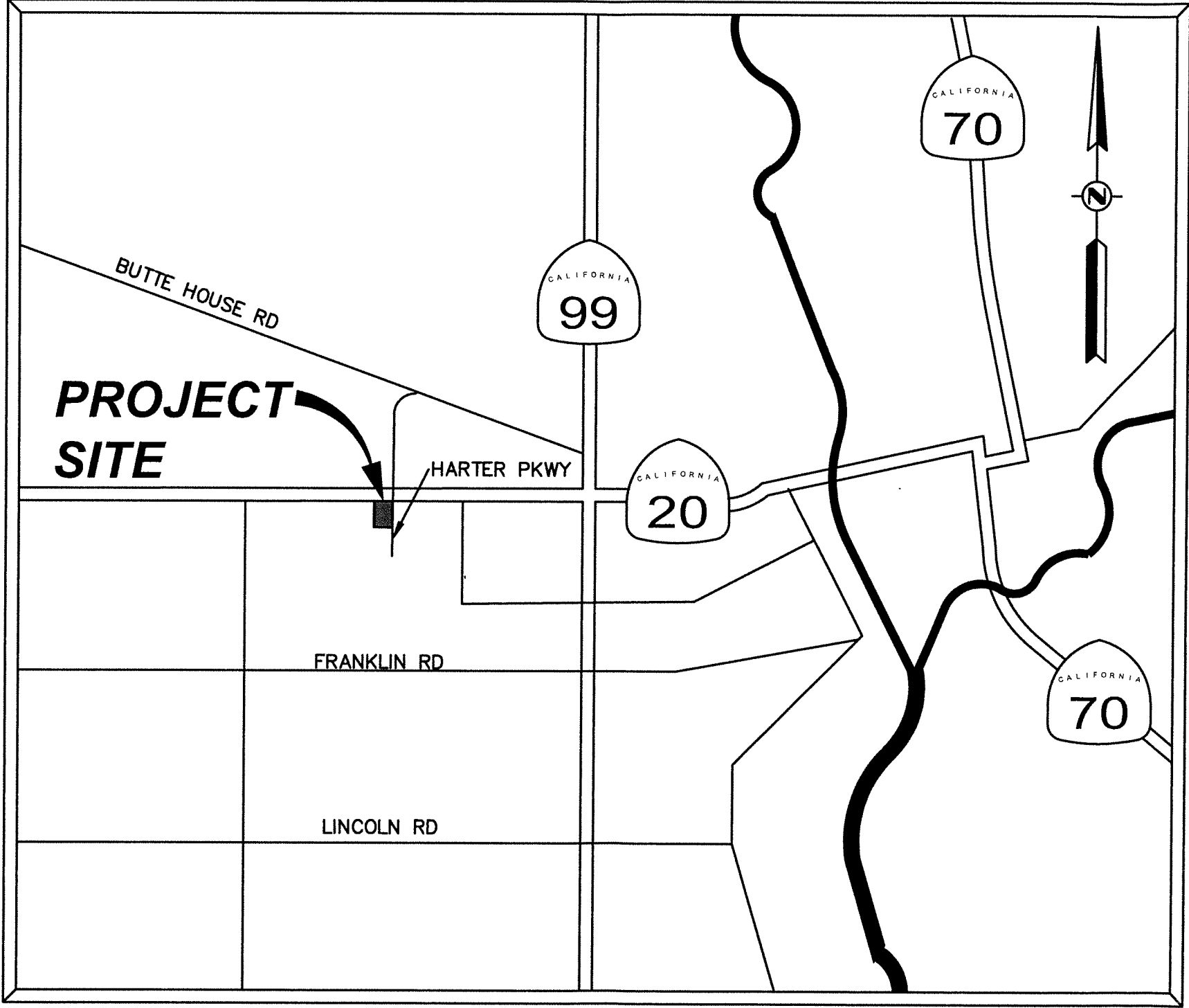
As to Form and Procedure:

By:  _____
Attorney

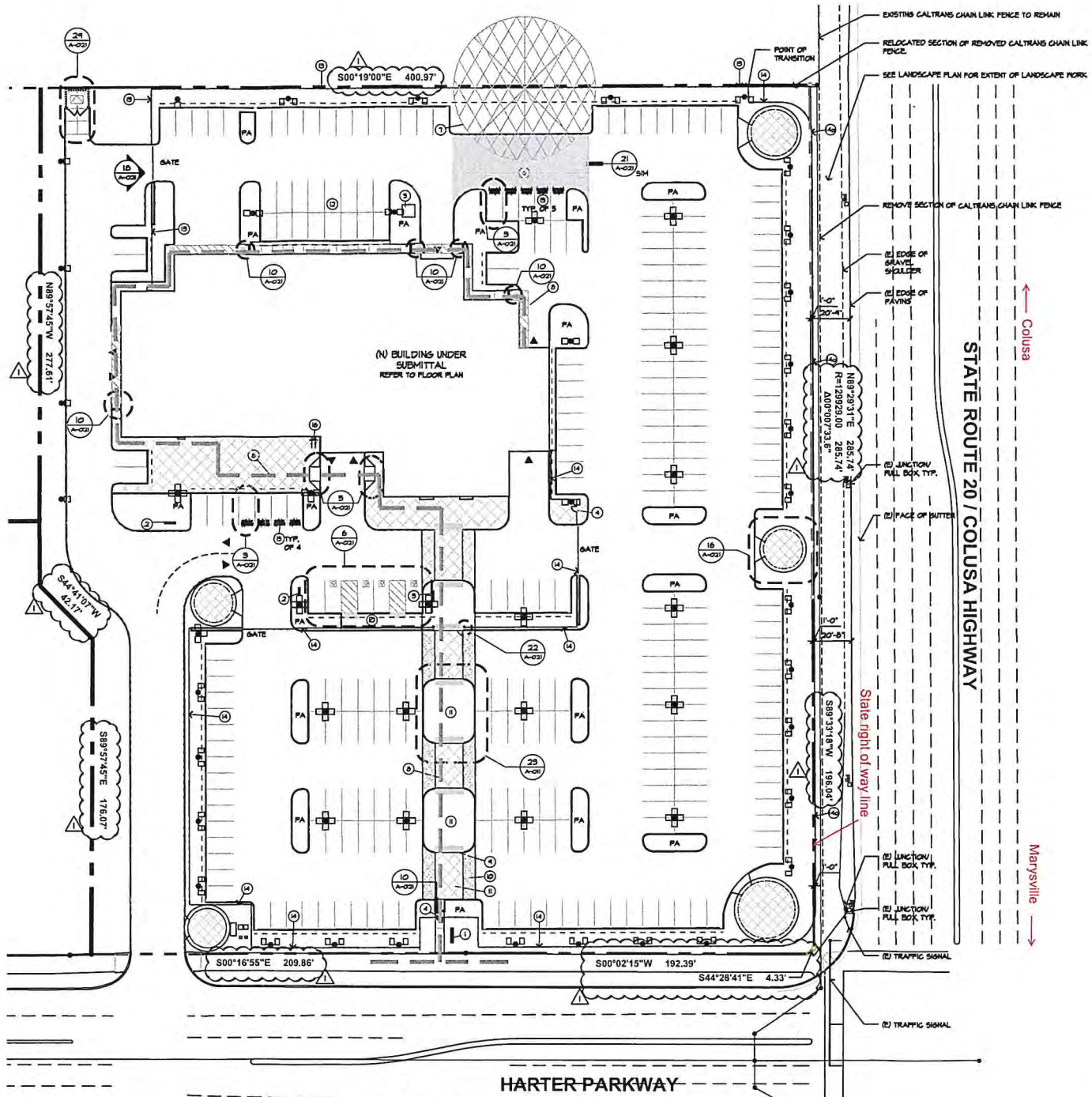
By:  _____
Attorney
Department of Transportation

LANDSCAPE MAINTENANCE AGREEMENT WITH CITY OF YUBA CITY
EXHIBIT A "Revised"

PAGE 1 OF 7
(03-SUT-20 PM 14.36 TO 14.6)



VICINITY MAP
NO SCALE



17 OVERALL SITE PLAN
1" = 50'

Parking provided for:	Stalls Provided:	Fuel Efficient Stalls Required
New Parking Stalls	48.0	
Customer Parking	20.0	4.00000
Employee/In-Service Parking	60.0	5.00000
Display/Storage Parking	N/A	199.0
Total Parking Stalls:	279.0	
Total Fuel Efficient Stalls Required (CalGreen Table 45.106.3.1.3)		9.00000
Boycide (5% total customer and employee / in-service parking)	4.00000	

GENERAL NOTES

- HORIZONTAL CONTROL FOR BUILDING LOCATIONS, SITE PARKING AND CONCRETE PLAT WORK LAYOUT SHALL BE PER CIVIL PLANS.
- LOCATIONS OF ALL EXISTING UTILITIES, UTILITIES, EASEMENTS AND STRUCTURES ON SITE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- IMPROVEMENTS DISCLOSED IN THIS PLAN ARE COORDINATED WITH CIVIL, ELECTRICAL AND LANDSCAPING CONSULTANTS. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CIVIL ENGINEER PRIOR TO CONSTRUCTION. NO WORK SHALL CONTINUE UNLESS APPROVED BY ARCHITECT OR CIVIL ENGINEER.
- SET CENTER OF LIGHT POLE BASE AT 2'-0" FROM BACK SIDE OF CURB CENTERED ON PARKING LOT STALL STRIPING. IF LOCATED AT WALKWAY, SET CENTER OF LIGHT POLE BASE AT 2'-0" FROM BACK SIDE OF WALKWAY UNLESS SPECIFIED OTHERWISE IN THE FIELD BY GENERAL CONTRACTOR, ELECTRICAL ENGINEER OR CIVIL ENGINEER.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING OF CONSTRUCTION. COMMENCEMENT OF CONSTRUCTION INDICATES ACCEPTANCE OF EXISTING CONDITIONS.
- CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY AND BEFORE COMMENCING ANY WORK.

PERMITS/NOTES

- AS INDICATED ON THE PLAN, CURBS SHALL BE PAINTED RED UPON WHICH IS MARKED IN PINK WORDS "NO PARKING - FIRE LANE". LETTERS TO BE WHITE 5" IN HEIGHT, HAVE A 3/4" STROKE, AND BE REPEATED AT NOT LESS THAN 25'-0" INTERVALS.

SITE KEY NOTES

- MONUMENT SIGN BY SIGN VENDOR
- DIRECTIONAL SIGNAGE - GROUND MOUNTED CONFIGURATION BY SIGN VENDOR
- DIRECTIONAL SIGNAGE - POLE MOUNTED CONFIGURATION BY SIGN VENDOR
- EXPRESS GATE IN PERIMETER FENCING
- TRANSFORMER - SEE ELECTRICAL DRAWINGS
- PERVIOUS PAVING MATERIAL AREA (CALSTONE AND PAVERS, COLOR CHARCOAL)
- (R) TREE TO REMAIN - PROTECT DURING CONSTRUCTION
- PATH OF TRAVEL
- TACTILE MARKING SURFACE - FLUSH W/ ACCENT PAVING MATERIAL (COLOR: LT. GREY)
- SLOPED ACCENT PAVING MATERIAL - STANDARD LT. CONCRETE COLOR
- ACCENT PAVING MATERIAL (4" FROM A.C.) - CONCRETE COLOR (DARK, DARK GREY/WHITE NO.84) IN STANDARD CONC. COLOR CURB @ PERIMETRY
- TANDEM PARKING STALLS FOR IN-SERVICE VEHICLES
- 8" HIGH ORNAMENTAL IRON PERIMETER FENCING - PER DET. (A-02)
- 3" HIGH ORNAMENTAL IRON PERIMETER FENCING, 1'-0" OFF PROPERTY LINE ALONG COLUSA HIGHWAY - PER DETAIL (A-02)
- "CLEAN ARCHITECTURE" STALL MARKING PER 2010 CALGREEN CODE 5.109.3.2
- 2-BIKE CAPACITY RACK PER DETAIL (A-02)

SITE LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- FIRE LANE (22 A-01)
- TRUNCATED DOMES
- ACCESSIBLE PARKING SIGNAGE
- ELECTRICAL TRANSFORMER
- PARKING LOT LIGHT POLE - COORDINATE LOCATIONS WITH ELECTRICAL PLANS
- LIGHT BOLLARD - COORDINATE LOCATIONS WITH ELECTRICAL PLANS
- STORM DRAIN - COORDINATE LOCATIONS WITH CIVIL IMPROVEMENT DRAWINGS
- FIRE HYDRANT - COORDINATE WITH CIVIL IMPROVEMENT DRAWINGS
- LANDSCAPE PLANTER AREA

ARCHITECTURAL SITE PLAN

PROJECT NO: 08-24-2013

DATE: 08-24-2013

AS SHOWN

Sheet # A-011

PROPOSED "NEW" BUILDING FOR
YUBA CITY DODGE CHRYSLER
NEW DEALERSHIP
960 HARTER PARKWAY
Yuba City, CA 96898

ARCHITECTURAL GROUP
Borges
ARCHITECTURE
PLANNING
INTERIORS

1478 STONE POINT DRIVE
SUITE 330
ROSEVILLE CA 95661
T 916 772 7200
F 916 773 1017
BORGESARCH.COM

EXHIBIT A REVISED

Landscape Maintenance Agreement
with City of Yuba City

Encroachment Permit 0313-6FN0500

PAGE 3 OF 7

LEGEND

—○— IRON FENCE TO BE MAINTAINED BY CITY AT CITY EXPENSE

--- STATE RIGHT OF WAY LINE

▭ LANDSCAPE TO BE MAINTAINED BY CITY AT CITY EXPENSE

PLANTING NOTES

1. ALL WORK SHALL BE IN FULL ACCORD WITH CALTRANS STANDARD DETAILS AND SPECIFICATIONS.
2. SEE "YUBA CITY DODGE CHRYSLER AUTOMOTIVE DEALERSHIP" DRAWINGS FOR ALL WORK OUTSIDE THE STATE HIGHWAY 20 RIGHT-OF-WAY.
3. ALL ON-SITE SPECIFICATIONS THAT ARE NOT IN CONFLICT WITH CALTRANS DOCUMENTS APPLY TO THIS WORK.

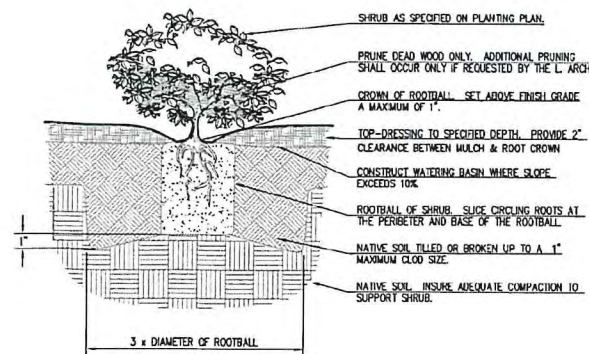
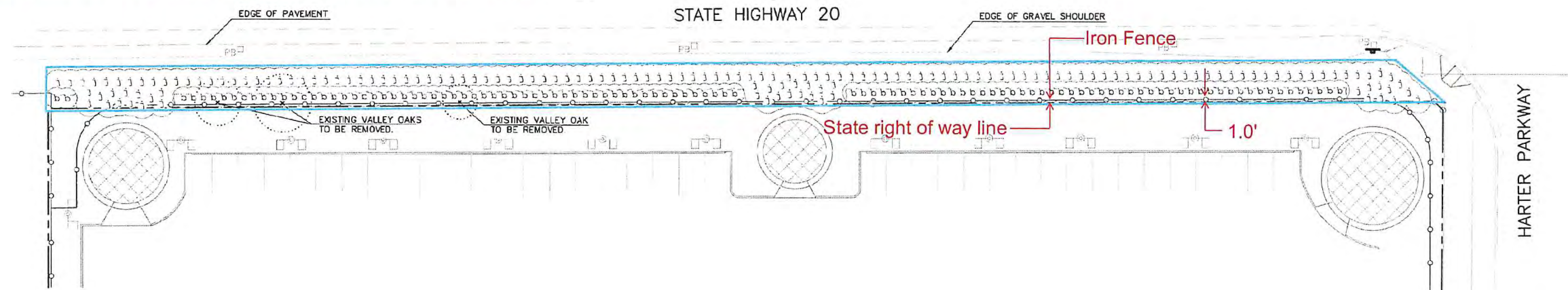
PLANT LIST & LEGEND

SYMBOL	BOTANIC NAME/COMMON NAME	SIZE	QUANTITY
BAP	BACCHARIS P. "TWIN PEAKS"/DWF. COYOTE BRUSH	1 GALLON	108
JNB	JUNIPERUS SABINA "BROADMOOR"/PROSTRATE JUNIPER	1 GALLON	154

The State of California or its officers or agents shall not be responsible for the accuracy or completeness of electronic copies of this plan sheet.
To get to the Caltrans web site, go to: <http://www.dot.ca.gov>



Garth Ruffner Landscape Architect (916) 797-2576
4120 Douglas Blvd., Suite 205, Roseville, CA 95746-5336
GarthRuffner.com California P.L.A. #2858



STATE ROUTE 20/HARTER PARKWAY
ENCROACHMENT PERMIT

PLANTING
PLAN

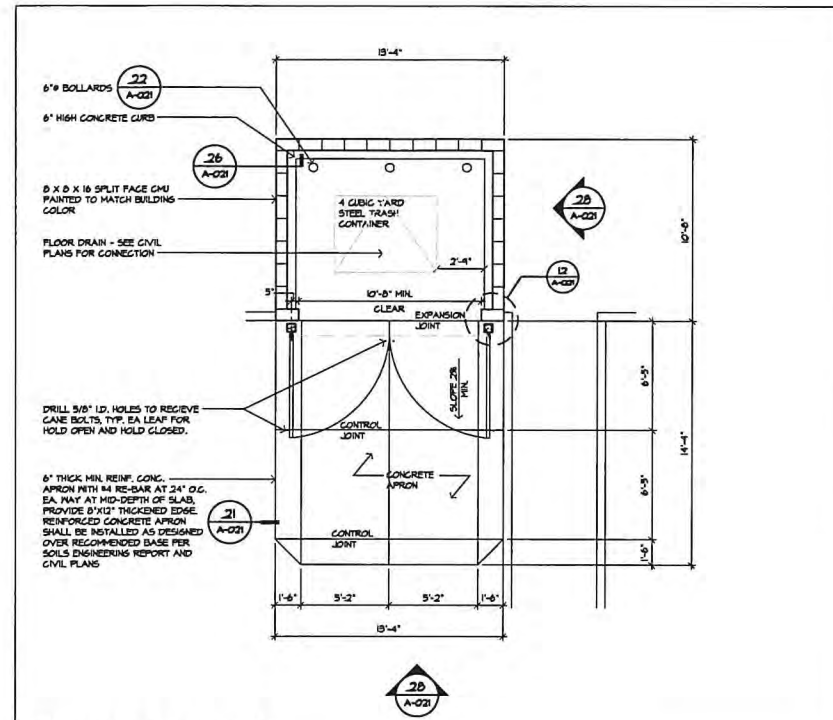
1"=20'-0"

LA-2

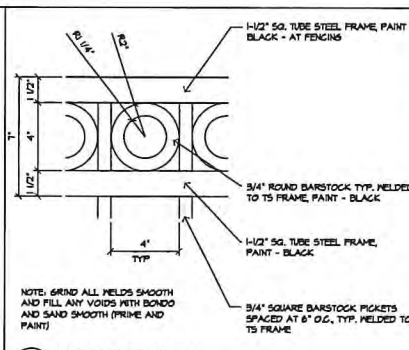
PLANTING PLAN

EXHIBIT A REVISED
Landscape Maintenance Agreement

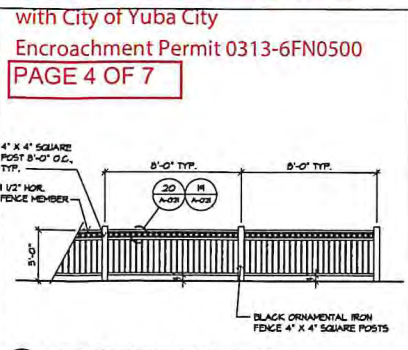
with City of Yuba City
Encroachment Permit 0313-6FN0500
PAGE 4 OF 7



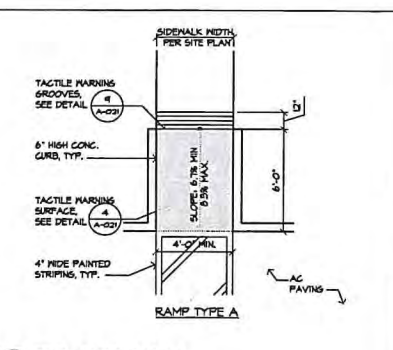
29 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



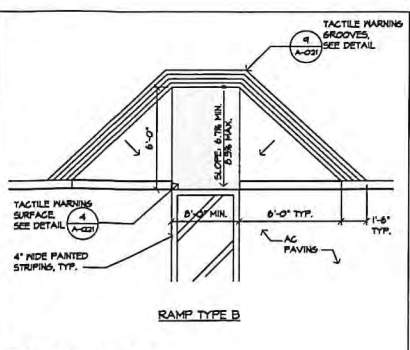
20 FENCING TOP RAIL
3" x 1'-0"



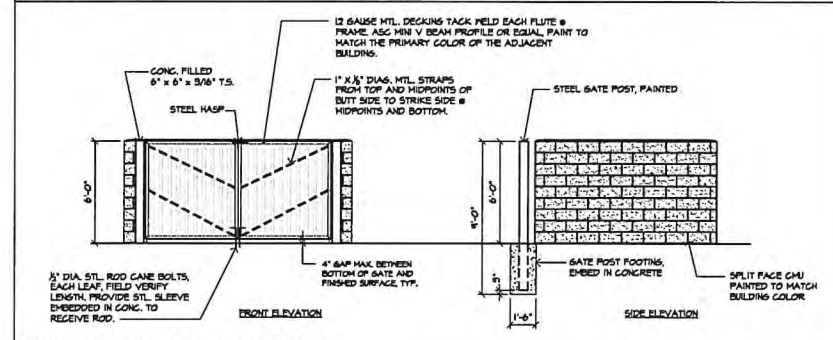
15 LOW WROUGHT IRON FENCE
1/4" = 1'-0"



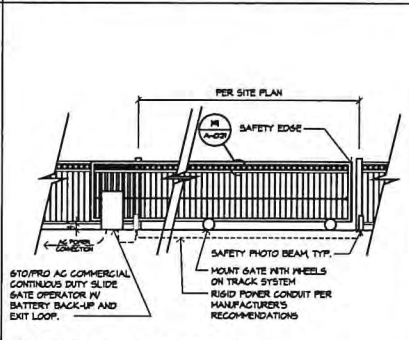
10 TYP. CURB RAMPS
1/4" = 1'-0"



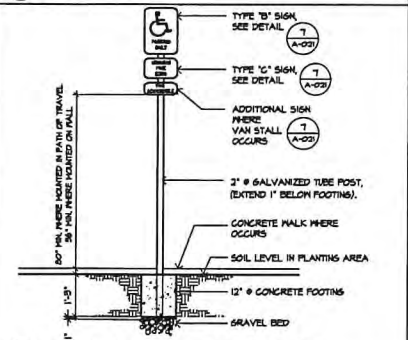
5 TYP. CURB CUT
1/4" = 1'-0"



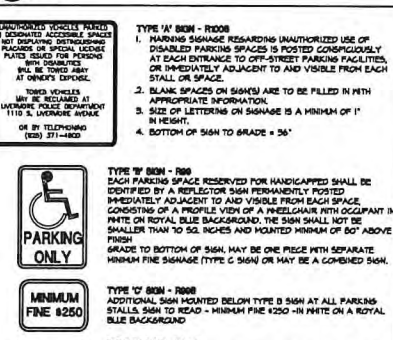
28 TRASH ENCLOSURE ELEVATIONS
1/4" = 1'-0"



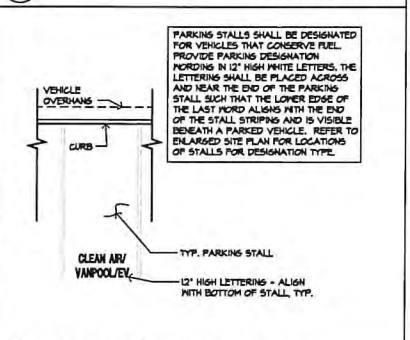
18 SLIDING SECURITY GATE
5-Security Gate-Slide 01



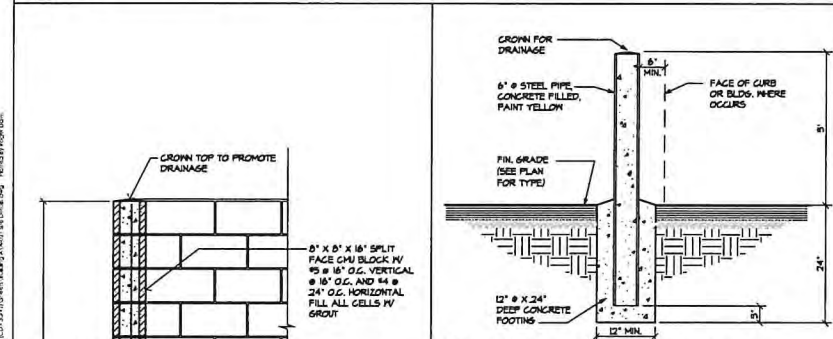
13 ACCESSIBLE PARKING SIGN POST
1/2" = 1'-0"



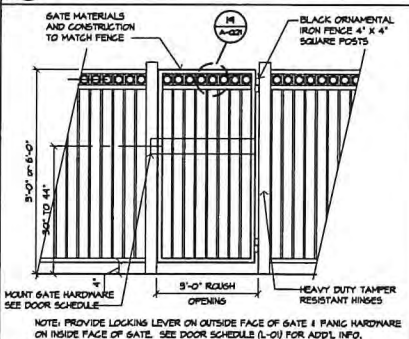
7 ACCESSIBILITY SIGNAGE
5-ADA-Sign-Typs ABCD 01



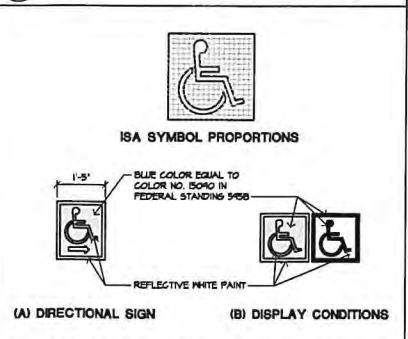
3 DESIGNATED PARKING STALLS
1/8" = 1'-0"



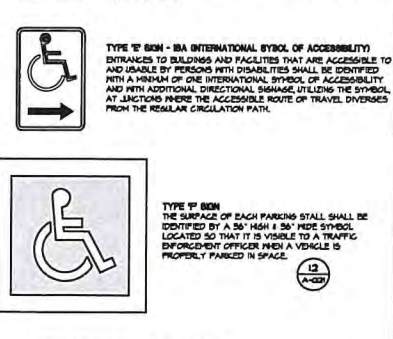
22 CONCRETE FILLED BOLLARD
5-Indec-Concrete Filled Bollard 01



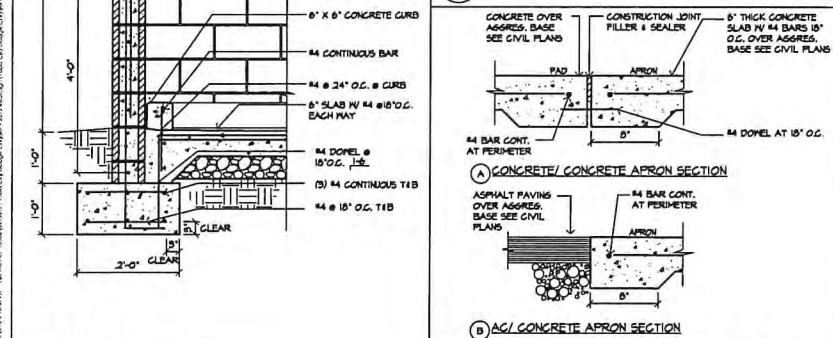
17 SECURITY MAN GATE
5-ADA-Plng-Symbol 02



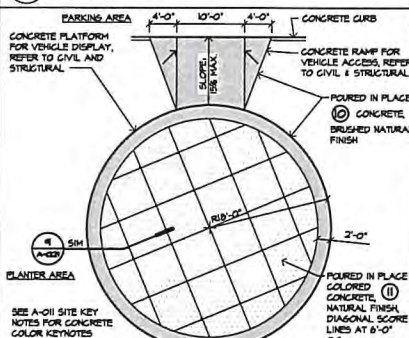
12 INTERNATIONAL SYMBOL OF ACCESSIBILITY
1/2" = 1'-0"



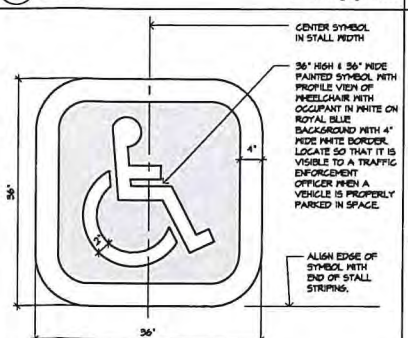
2 BIKE RACK
1/2" = 1'-0"



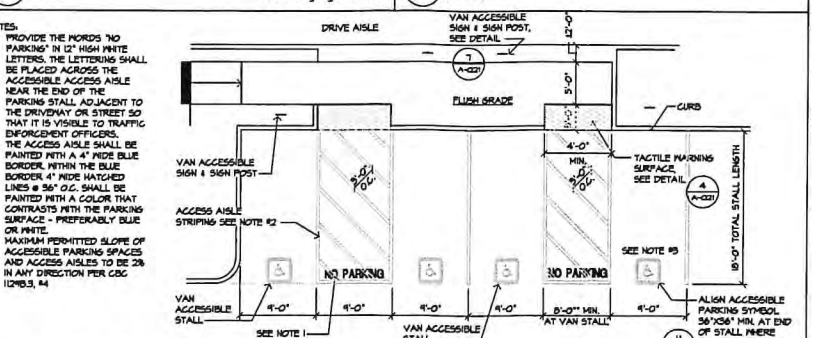
21 CONCRETE APRON SECTION
5-Indec-Concrete-Job 02



16 ENHANCED CONCRETE DISPLAY PLATFORM
5-ADA-Plng-Symbol 01



11 ACCESSIBLE PARKING SYMBOL
1" = 1'-0"



6 ACCESSIBLE PARKING STALL PLAN
1/8" = 1'-0"

Borges
ARCHITECTURAL GROUP
ARCHITECTURE
PLANNING
INTERIORS

178 STONE POINT DRIVE
SUITE 118
ROSELLE CA 95661
TEL 916 787 7200
F 916 773 1017
BORGES@AUGROUP.COM

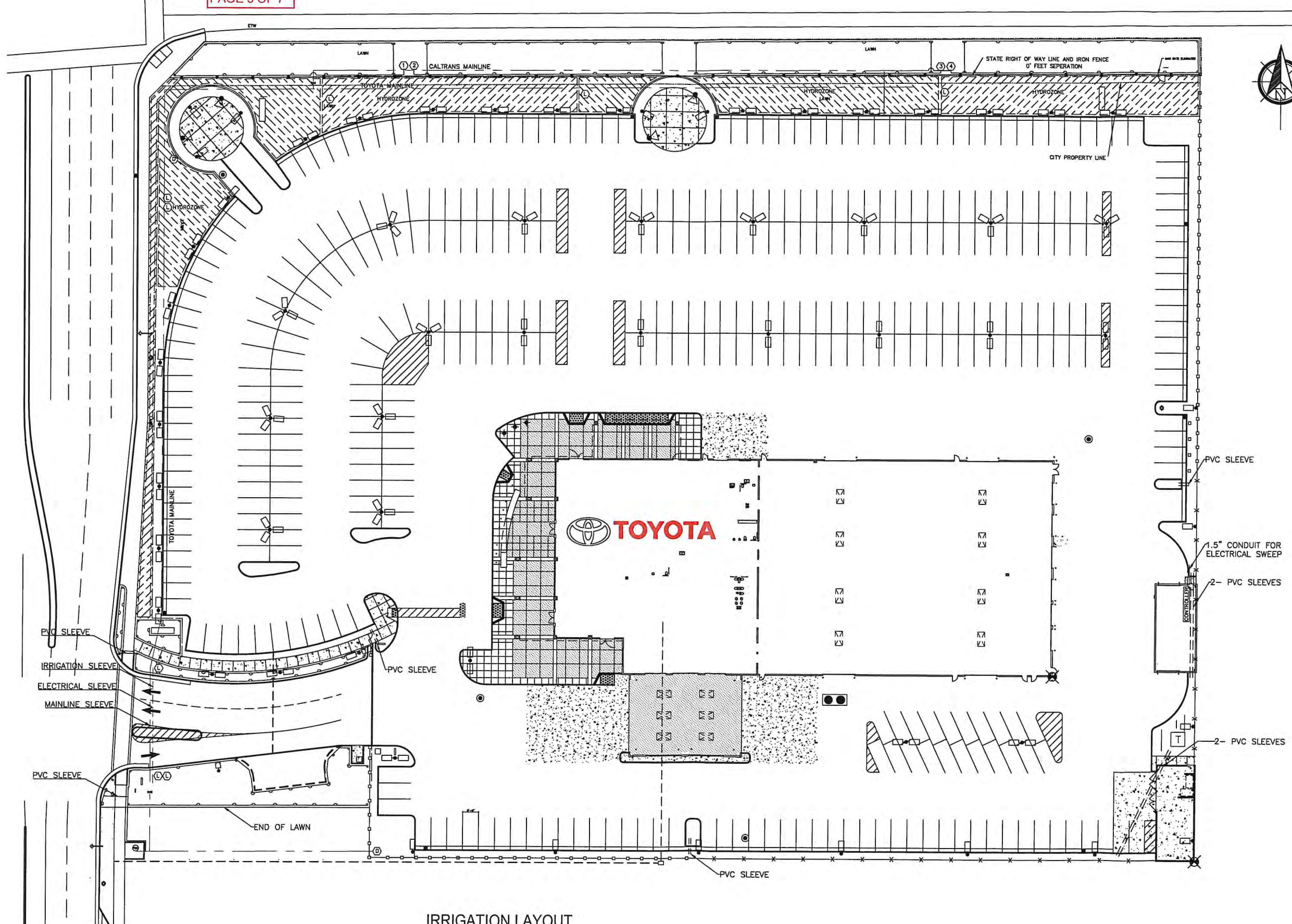
PROPOSED 'NEW' BUILDING FOR:
YUBA CITY DODGE CHRYSLER
NEW DEALERSHIP
950 HARTER PARKWAY
Yuba City, CA 95693

SITE DETAILS

Date	By	Remarks
08-24-2013	Borges Job No. 08152-3	AS SHOWN

Sheet Title: A-021

REVISION
DATE
BY
DESCRIPTION



DRAWN FOR:
HILBERS CONSTRUCTION
 1210 STABLER LANE
 YUBA CITY, CA 95901 530.673.2947

IRRIGATION LAYOUT
YUBA CITY TOYOTA DEALERSHIP
 HARTER PARKWAY/HWY 20

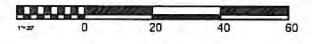
DRAWN BY: BARROWS LANDSCAPING
 DESIGN BY: K. BARROW
 CONTRACTOR'S LIC. # 428583 C-27
 PHONE: (530)974-9500
 FAX: (530)974-9500



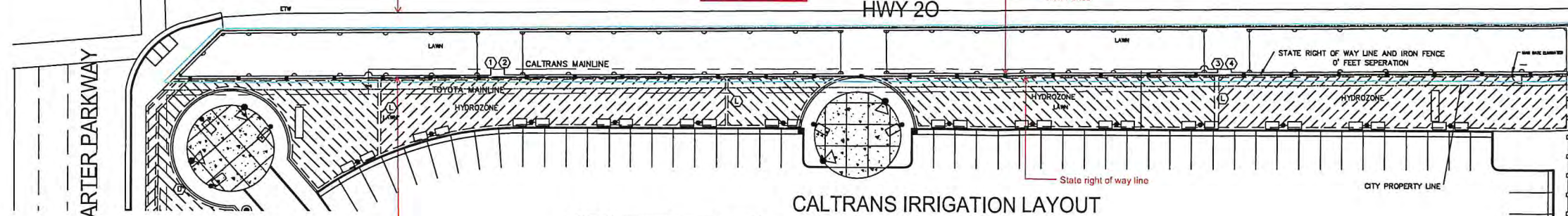
SCALE 1"=20'
 JULY 2013

SHEET NO.
L4
 SHEET 7 OF #

IRRIGATION LAYOUT



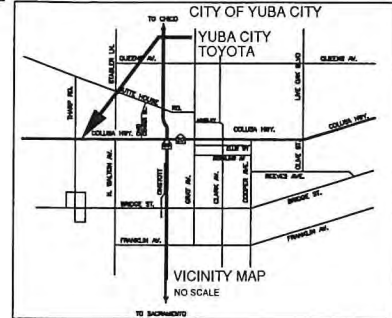
SCALE 1"=20'



CALTRANS IRRIGATION LAYOUT

CALTRANS FRONTAGE LEGEND AND NOTES

	IRON FENCE TO BE MAINTAINED BY CITY AT CITY'S EXPENSE TO BE MAINTAINED BY CITY AT CITY EXPENSE
	STATE RIGHT OF WAY LINE
	LANDSCAPE AREA TO BE MAINTAINED BY CITY AT CITY'S EXPENSE TO BE MAINTAINED BY CITY AT CITY EXPENSE



IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMATIC. ALL PIPING, VALVES AND EQUIPMENT SHOWN IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN THE PLANTING AREAS SO AS TO CONFORM WITH THE VARIOUS DETAILS.
- VERIFY EXISTING WATER PRESSURE AND FIELD DIMENSIONS. DISCREPANCIES SHALL BE REPORTED TO THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. IF NOTIFICATION IS NOT MADE, THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COST FOR NECESSARY REVISIONS.
- USE COMMON TRENCHES WHERE POSSIBLE. INSTALL PRESSURIZED LINES TO A DEPTH OF 18 INCH COVER. INSTALL LATERAL LINES WITH A MINIMUM DEPTH OF 12 INCHES.
- 120 V POWER FOR CONTROLLER SHALL BE INSTALLED BY OTHERS
- ALL PIPE AND WIRE UNDER PAVED AREAS SHALL BE RUN THROUGH SCH 40 PVC SLEEVES. SIZE OF SLEEVE TO BE TWICE THE DIAMETER SIZE OF PIPE. CONTRACTOR RESPONSIBLE FOR INSTALLING SLEEVES WITH APPROPRIATE QUANTITY AND LOCATIONS. CONTROL WIRE SHALL OCCUPY THE SAME TRENCH AS PRESSURE LINES WHEREVER POSSIBLE. SEPARATION OF PIPE IN TRENCH TO BE ACHIEVED WITH NATIVE TOPSOIL. COMMON WIRE SHALL BE WHITE LEAD.
- SPLICES SHALL BE MADE WITH SCOTCH-LOK 3M DBY/DBR CONNECTOR PACKS, OR EQUAL. INSTALL SPLICES IN IRRIGATION VALVE BOX WITH LID. CONTROL WIRES SHALL BE A MINIMUM #14 U.F. 600 VOLT COPPER.
- FLUSH ENTIRE SYSTEM BEFORE INSTALLING SPRINKLER HEADS.
- SPACING OF HEADS SHALL NOT EXCEED THAT SHOWN ON DRAWING. PERFORM COVERAGE TEST PRIOR TO PLANTING. ADJUST ALL HEADS SO AS TO PREVENT OVERSPRAY ONTO WALKS AND BUILDINGS YET ENSURE FULL COVERAGE.
- ALL MATERIAL IS SPECIFIC TO THIS DESIGN. THE IRRIGATION SYSTEMS HAVE BEEN DESIGNED ACCORDING TO THE OPERATIONAL CHARACTERISTICS OF THE SPECIFIED EQUIPMENT. IF ANY CHANGES OR SUBSTITUTIONS ARE MADE WITHOUT APPROVED WRITTEN CALCULATIONS, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR THE RESULTS OF THOSE CHANGES.
- THE CONTRACTOR SHALL WARRANT THE SYSTEM TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR. ALL REPAIRS NECESSARY DURING THAT PERIOD SHALL BE MADE AT NO COST TO THE OWNER.
- PROVIDED BY OTHERS COORDINATED WITH GENERAL CONTRACTOR, A SWEEP FOR IRRIGATION WIRES TO BE RUN FROM THE IRRIGATION CONTROLLER LOCATION TO THE OUTSIDE OF THE FOUNDATION.
- INSTALL LARGE HEAVY DUTY SPRINKLER BLOCKS ALONG HWY 20 ROAD FOR PROTECTION OF IRRIGATION HEADS.
- THE FOUR HWY 20 VALVES TO BE WIRED INTO TOYOTA IRRIGATION CONTROLLER.

- 30-INCH LINEAR LENGTH OF WIRE, COILED
- WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
- ID TAG: RAIN BIRD VID SERIES
- REMOTE CONTROL VALVE: RAIN BIRD PEB WITH NP-HAN
- VALVE BOX WITH COVER: RAIN BIRD VB-STD WITH BOLT KIT
- FINISH GRADE/TOP OF MULCH
- PVC SCH 80 NIPPLE (CLOSE) FOLLOWED BY BALL VALVE
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- BRICK (1 OF 4)
- PVC MAINLINE PIPE
- SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- PVC SCH 40 MALE ADAPTER
- PVC LATERAL PIPE
- 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

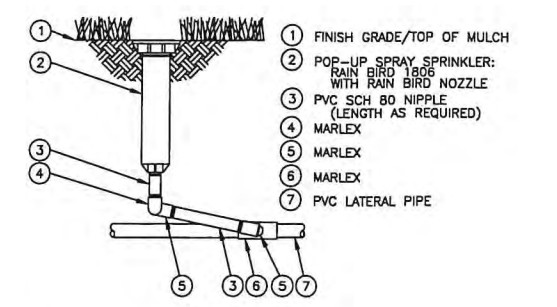
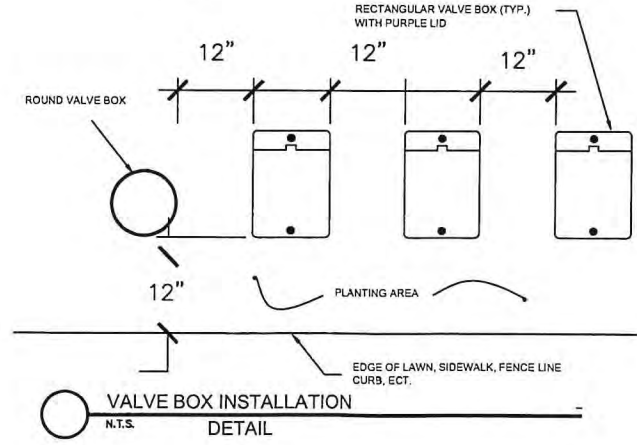


IRRIGATION LEGEND

	AUTOMATIC CONTROLLER - ESPME OUTDOOR CLOCK CONNECT ALL VALVES TO RAINBIRD ESP-LKME CONTROLLER COORDINATE WITH GENERAL CONTRACTOR FOR EXACT LOCATION. 110V PROVIDED BY OTHERS. PROVIDE WIRE FROM VALVES TO IRRIGATION CONTROLLER.
	POINT OF CONNECTION POC: PROVIDED BY OTHER
	REDUCED PRESSURE BACKFLOW PREVENTION DEVICE PROVIDED BY OTHERS
	GATE VALVE TYPE: NIBCO WITH A NON-RISING STEM AND HANDWHEEL. GATE VALVE INSTALLED IN A VALVE BOX WITH TOP OF BOX SET FLUSH TO FINISH GRADE. GATE VALVE TO BE LINE SIZE.
	PRESSURE MAIN LINE TYPE: ASTM D1185, PVC SCH 40 TRENCH DEPTH: 24 INCHES UNDER PAVED AREAS: 24 INCHES PLANTED AREAS: 18 INCHES PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT
	LATERAL LINE TYPE: PVC CLASS 200, SOLVENT WELD ALL MINIMUM SIZED PIPE SHALL BE 3/4" SIZE. TRENCH DEPTH: IN ALL AREAS: 12" MINIMUM COVER UNDER PAVED AREAS: 24 INCHES MINIMUM COVER PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT
	AUTOMATIC CONTROL VALVE: RAINBIRD VALVES. INSTALL ONE VALVE PER VALVE BOX WITH PVC BALL VALVE ON PRESSURE SIDE OF MAINLINE. VALVE NUMBERING
	SHRUB AND LAWN POP-UP SPRAY HEADS: RAINBIRD: 1806 NOZZLE SPRINKLERS PER SPACING AND AREA
	SLEEVING TYPE: SCH 40 SIZED TWICE THE DIAMETER OF PIPE SIZE. PROVIDE SEPARATE CONDUIT FOR IRRIGATION CONTROL WIRES UNDER PAVING. CONTRACTOR TO PROVIDE ALL NECESSARY SLEEVING FOR PROJECT. SLEEVE QUANTITIES, LOCATION, AND SIZING ARE APPROXIMATE.
	PLANTERS: SURFACE DRIP XLZ-100-PRBR XDF ON-SURFACE DRIFLINE STAPLE EVERY 5 FEET TO SECURE DRIP TUBE
	LAWN: SUB SURFACE DRIP XLZ-100-PRBR XFS SUBSURFACE DRIFLINE INSTALL APPROPRIATE AIR RELIEF VALVES AND FLUSH VALVES.
	CONTROL WIRE 18 GAUGE U.F. 600 VOLT DIRECT BURIAL MULTI-STRAND

NOTES:

- CENTER BOXES OVER VALVES. INSTALL 1 VALVE PER VALVEBOX
- SET BOXES IN GROUND/SHRUBS AREAS WHERE POSSIBLE.
- SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGES.
- AVOID HEAVILY COMPACTING SOIL AROUND BOXES TO PREVENT DAMAGING VALVE BOXES
- IF VALVE IS LOWER THAN BOTTOM OF VALVE BOX, ADD EXTENSION SLEEVE TO BOX.



REVISION
REV: 01/11/13

REVISION
REV: 02/28/13

REVISION
REV: 02/28/13

DRAWN FOR:
HILBERS CONSTRUCTION
1210 STABLER LANE
YUBA CITY, CA 95901 530.673.2947

CALTRANS IRRIGATION LAYOUT
YUBA CITY TOYOTA DEALERSHIP
HARTER PARKWAY/ HWY 20

DRAWN BY: BARROWS LANDSCAPING
DESIGN BY: K. BARROW
CONTRACTOR'S LIC. #45593 C-27-0000
PHONE: (530) 771-5500
FAX: (530) 771-5500



SCALE 1"=20'
JULY 2013

SHEET NO.

L5

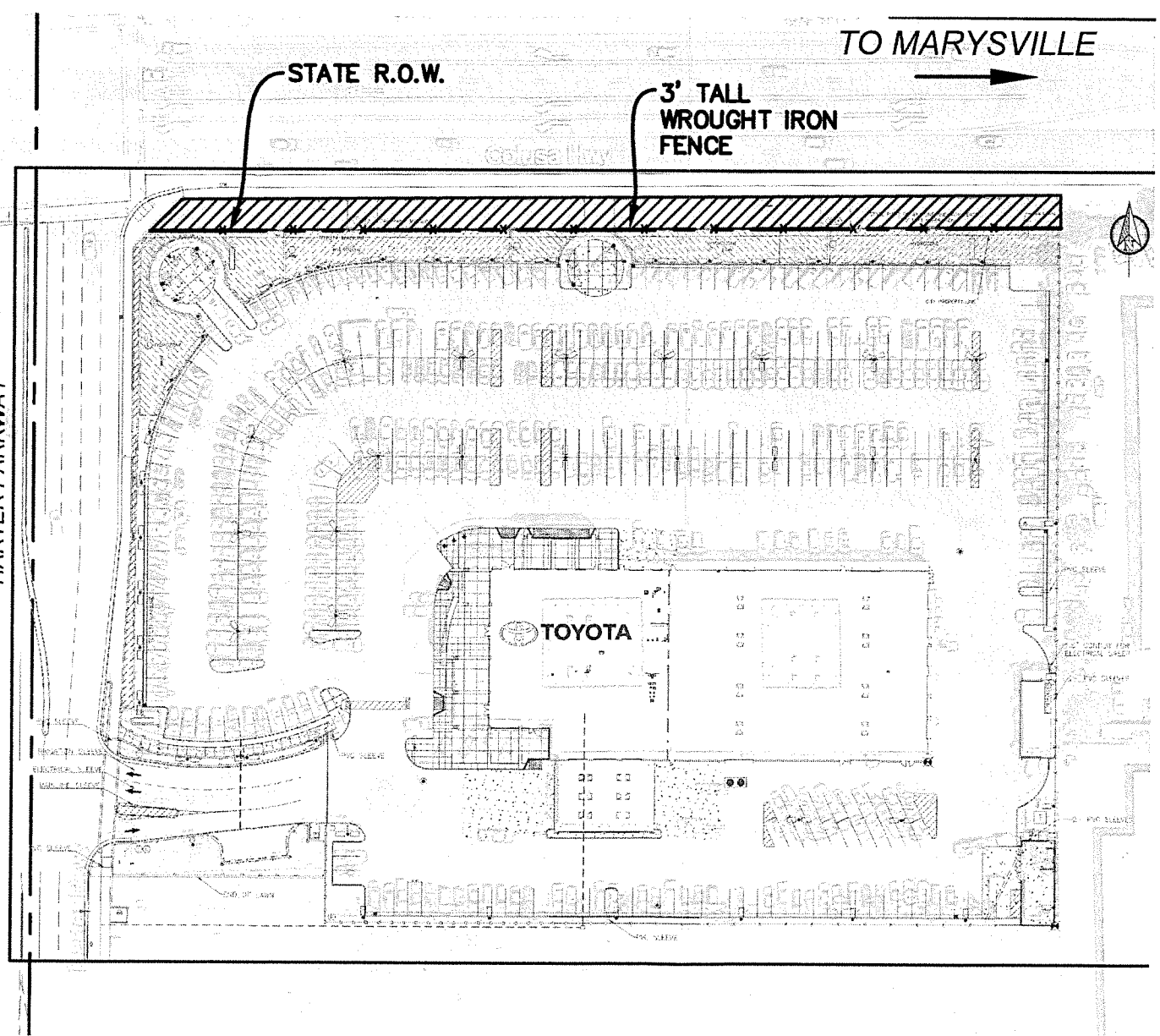
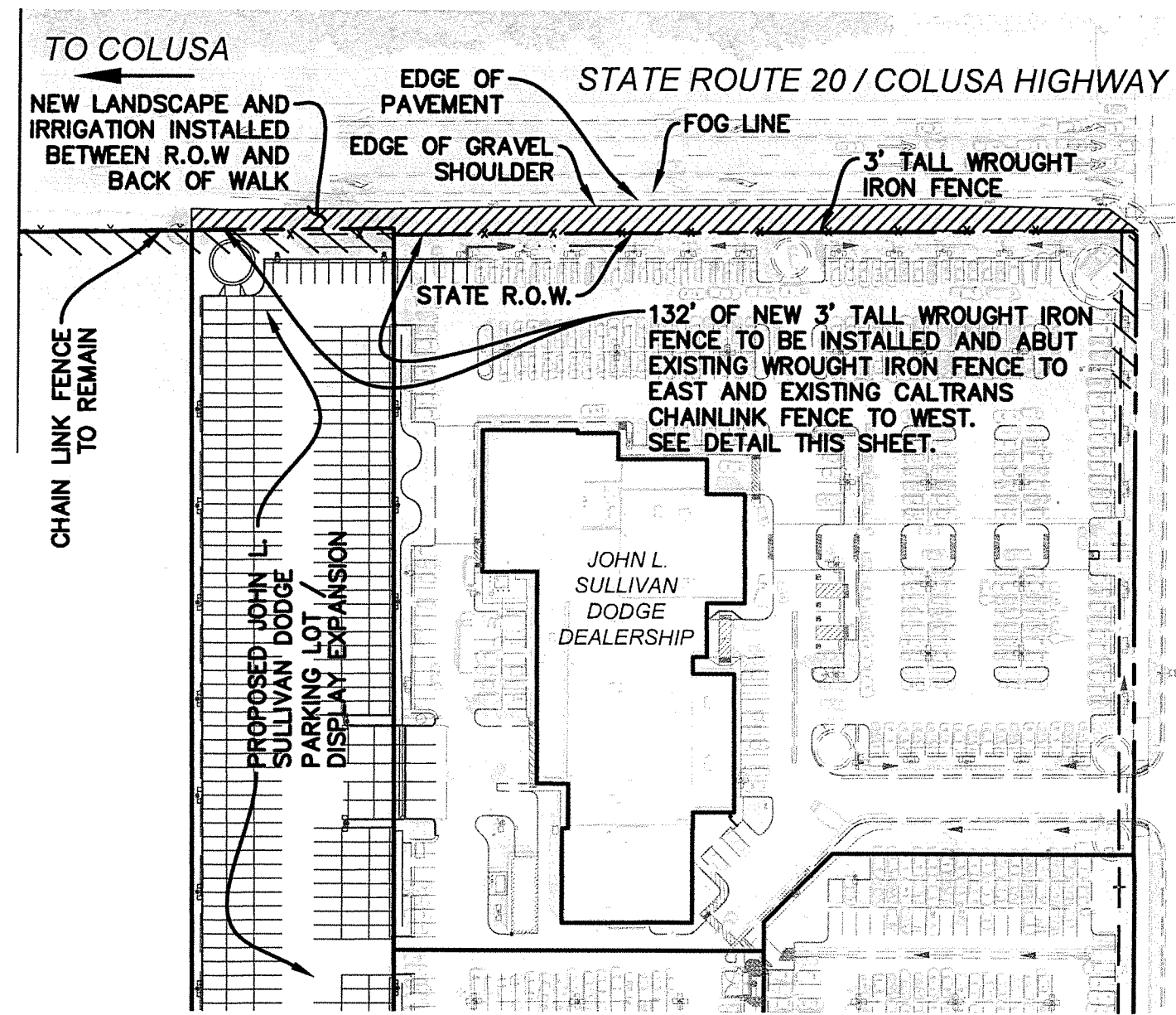
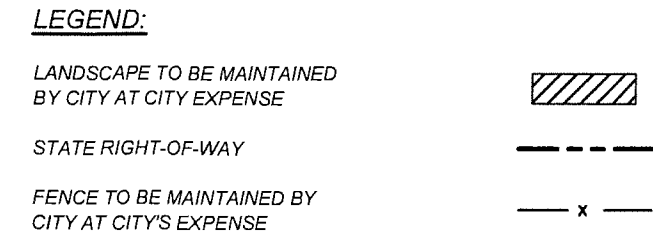
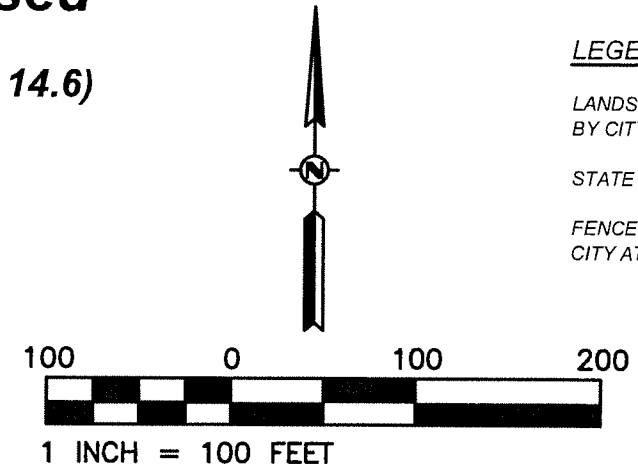
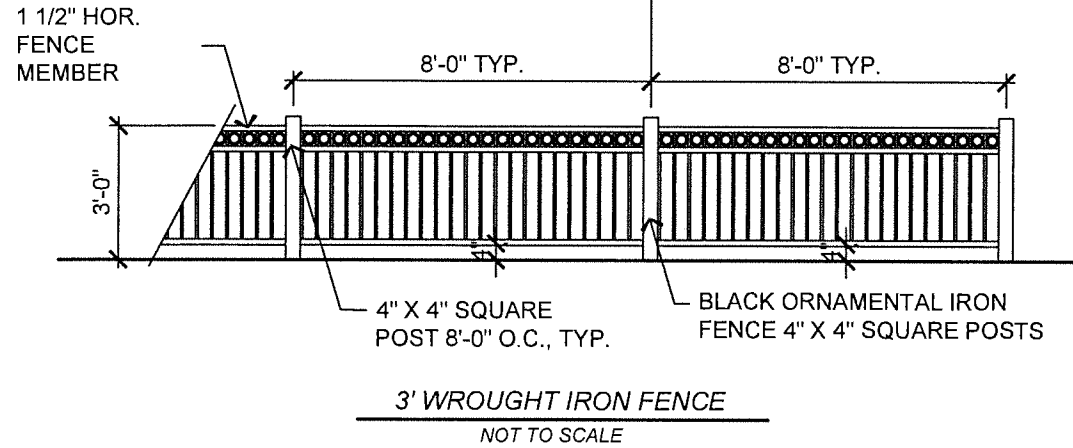
SHEET 5 OF 5

LANDSCAPE MAINTENANCE AGREEMENT WITH CITY OF YUBA CITY ENCROACHMENT PERMIT NO. 0319-6LC0149

EXHIBIT A "Revised"

PAGE 7 OF 7

(03-SUT-20 PM 14.36 TO 14.6)



ATTACHMENT 2

RESOLUTION NO. _____

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF YUBA CITY
AMENDING THE LANDSCAPE MAINTENANCE AGREEMENT WITH THE
PROPERTY OWNERS OF 950 HARTER PARKWAY, SULLIVAN FAMILY
LIMITED PARTNERSHIP, DATED SEPTEMBER 16, 2014, FOR THE
MAINTENANCE OF DEVELOPED PROPERTY WITHIN THE STATE OF
CALIFORNIA STATE ROUTE 20 RIGHT-OF-WAY**

WHEREAS, John L. Sullivan Dodge Chrysler Jeep RAM, located at 950 Harter Parkway south of State Route 20, and Yuba City Toyota, located at 955 Harter Parkway south of State Route 20, constructed improvements adjacent to State Route 20 and Harter Parkway in 2014, with portions of work adjacent to State Route 20 that were in state right-of-way; and,

WHEREAS, the City of Yuba City entered into Landscape Maintenance Agreements with Sullivan Limited Partnership (Sullivan), Sutter Partners LLC (Toyota), and the Department of Transportation (Caltrans) on September 16, 2014, October 7, 2014, and October 22, 2014 respectively, to delegate maintenance responsibilities for the portions of land within state right-of-way; and,

WHEREAS, through the 2019 expansion of Sullivan, the property owners are currently constructing improvements including landscaping and fencing within state right-of-way westerly one hundred thirty-two feet; and,

WHEREAS, the City of Yuba City, requires an amendment to the existing agreement with Sullivan regarding the maintenance of said expansion area.

NOW THEREFORE BE IT RESOLVED and ordered by the City Council of the City of Yuba City as follows:

1. The Mayor is hereby authorized and directed to execute on behalf of the City of Yuba City that certain Amendment to the Landscape Maintenance Agreement in the City of Yuba City between the City of Yuba City and the Sullivan Family Limited Partnership.
2. A copy of said Amendment in the City of Yuba City is attached hereto for reference.

The foregoing Resolution was duly and regularly introduced, passed, and adopted by the City Council of the City of Yuba City at a regular meeting thereof held on the 5th day of November 2019.

AYES:

NOES:

ABSENT:

Shon Harris, Mayor

ATTEST:

Patricia Buckland, City Clerk

APPROVED AS TO FORM
COUNSEL FOR YUBA CITY:

Shannon L. Chaffin, City Attorney
Aleshire & Wynder, LLP

Attachment(s):

- A. Amendment to Landscape Maintenance Agreement with Sullivan Limited Partnership

ATTACHMENT A

**AMENDMENT NO. 1 TO AGREEMENT FOR LANDSCAPE MAINTENANCE ON
STATE ROUTE 20 – SULLIVAN FAMILY LIMITED PARTNERSHIP**

THIS AMENDMENT NO. 1 to the Agreement for Landscape Maintenance identified below (AMENDMENT) is made and entered into this ____ day of _____, 2019, by and between Sullivan Family Limited Partnership hereinafter designated “Owner,” and the CITY OF YUBA CITY, a Municipal Corporation, located in the County of Sutter, State of California, hereinafter designated “City.”

WITNESSETH

WHEREAS, City and State collectively referred to herein as “Parties”, entered into an agreement on September 16, 2014, entitled “Agreement for Landscape Maintenance on State Route 20 – Sullivan Family Limited Partnership” (AGREEMENT). AGREEMENT defined the terms and conditions applicable to Owner’s maintenance of landscaping, irrigation systems, and the non-standard fence along State Route 20, as shown in Exhibit A of AGREEMENT.

WHEREAS, the purpose of this AMENDMENT is to assign and expand the maintenance of responsibilities for the landscape, irrigation systems, and the non-standard fence placed within State Highway right-of-way on State Route 20, as Shown on Exhibit A “Revised”, attached to and made a part of this AGREEMENT.

WHEREAS, City and Owner desire to amend AGREEMENT as provided herein.

NOW, THEREFORE, City and Owner mutually agree as follows:

1. The second WHEREAS clause of AGREEMENT is hereby deleted and replaced in its entirety to read as follows:

“WHEREAS the certain lands located in the right-of-way of the State of California are located north of Owner’s property identified by APNs 63-010-101 and 63-010-142, with the legal descriptions attached as Exhibit A REVISED.”
2. Exhibit A of AGREEMENT is hereby deleted and replaced by Exhibit A REVISED.
3. Exhibit B of AGREEMENT is hereby deleted and replaced with Exhibit B REVISED.
4. All other terms and conditions of AGREEMENT shall remain in full force and effect.
5. AMENDMENT is hereby deemed to be included and made a part of AGREEMENT.

IN WITNESS WHEREOF, the parties have hereunto set their hands the day and year first above written.

CITY OF YUBA CITY, A MUNICIPAL CORPORATION

BY _____
Shon Harris, Mayor

BY _____
Patricia Buckland, City Clerk

SULLIVAN FAMILY LIMITED PARTNERSHIP

BY _____

TITLE _____

EXHIBIT A REVISED
LEGAL DESCRIPTION APN 63-010-101

The lot described here-in below is situated in the City of Yuba City, County of Sutter, State of California and is a portion of the Northeast one-quarter of Section 20, Township 15 North, Range 3 East, M.D.M. and is described as follows:

All of Lot 9 and a portion of Lots 10 and 11, as said Lots are shown on the official plat of "River Valley Commercial Center", filed for record in the office of the Recorder of Sutter County in Book 19 of Surveys, Page 100, and described as follows:

Beginning at a point located on the west line of said Lot 10 which bears South 00°19'00" East 63.48 feet from the northwest corner thereof; thence from said Point of Beginning North 89°57'45" West 241.67 feet to the west line of said Lot 11; thence along said west line North 00°19'00" West 63.48 feet to the southwest corner of said Lot 9; thence along the west line of said Lot 9 North 00°19'00" West 400.97 feet to the northwest corner thereof, being also the southerly right of way line of Colusa Highway (State Highway 20); thence along the north line of said Lot 9 and said right of way line the following three (3) courses: (1) curving to the right on an arc of a 129,925.00 foot radius curve, said arc having an interior angle of 00°07'33.63", an arc of length of 285.74 feet and being subtended by a chord bearing North 89°29'31" East 285.74 feet, (2) North 89°33'18" East 196.04 feet, and (3) South 44°28'41" East 4.33 feet to the east line of said Lot 9, being also the westerly right of way line of Harter Parkway, a public street shown on said Plat; thence along the easterly line of said Lot 9 and said westerly right of way line the following two (2) courses: (1) South 00°02'15" West 192.39 feet and (2) South 00°16'55" East 209.86 feet to the southeast corner of said Lot 9; thence along the south line of said Lot 9 North 89°57'45" West 196.81 feet; thence leaving said south line South 45°00'00" West 63.30 feet to the west line of said Lot 10; thence along the west line of said Lot 10 South 00°19'00" East 18.69 feet to the Point of Beginning; containing 4.855 Acres, more or less.

End of Description

LEGAL DESCRIPTION APN 63-010-142



2018-0016991

RECORDING REQUESTED BY:
First American Title Company

Recorded
Official Records
County of
Sutter
Donna M. Johnston
Clerk Recorder

REC FEE 19.00
TAX 1427.25
SURVEY MONUMENT 10.00
HFE-DTT 0.00

**MAIL TAX STATEMENT
AND WHEN RECORDED MAIL DOCUMENT TO:**
John L. Sullivan Family Limited Partnership
700 Automall Drive
Roseville, CA 95661

09:10AM 31-Dec-2018 MS
Page 1 of 2

Space Above This Line for Recorder's Use Only

A.P.N.: 63-010-090 (a portion of)

File No.: 3427-5672057 (LK)

GRANT DEED

The Undersigned Grantor(s) Declare(s): DOCUMENTARY TRANSFER TAX \$1,427.25;
SURVEY MONUMENT FEE \$

- computed on the consideration or full value of property conveyed, OR
- computed on the consideration or full value less value of liens and/or encumbrances remaining at time of sale,
- City of **Yuba City**, and

EXEMPT FROM BUILDING HOMES AND JOBS ACTS FEE PER GOVERNMENT CODE 27388.1(a)(2)

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **Calvary Christian Center Assembly of God of Yuba City California, a California corporation formerly known as Calvary Temple Assembly of God, a California corporation**

hereby GRANTS to **John L. Sullivan Family Limited Partnership, a California limited partnership**

the following described property in the City of **Yuba City**, County of **Sutter**, State of **California**:

Parcel 2 of Parcel Map No. 18-02, according to the official map thereof, filed for record on December 20, 2018 in Book 8 of Parcel Maps, at page 98, Sutter County Records.

2

Grant Deed - continued

Date: 12/20/2018

A.P.N.: 63-010-090

File No.: 3427-5672057 (LK)

Dated: December 20, 2018

Calvary Christian Center Assembly of God of Yuba
City California, a California corporation

✓ By: [Signature]

Name: Michael A. Ciociola

Title: CEO

✓ By: [Signature]

Name: Clifford E. Smart

Title: Secretary/CFO

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)SS

COUNTY OF SUTTER)

On DECEMBER 21, 2018 before me, J.O. GARRIDO, Notary Public, personally appeared Michael A. Ciociola and Clifford E. Smart

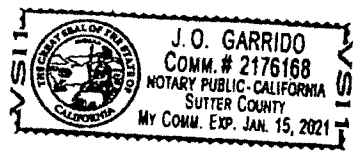
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

This area for official notarial seal.

[Signature]
Notary Signature



END OF EXHIBIT A REVISED

EXHIBIT B REVISED
AMENDMENT NO. 1 WITH STATE AGREEMENT

AMENDMENT NO. 1 TO LANDSCAPE MAINTENANCE
AGREEMENT WITHIN STATE HIGHWAY RIGHT OF WAY
ON ROUTE 20 WITHIN THE CITY OF YUBA CITY

This AMENDMENT NO. 1 to the Landscape Maintenance Agreement identified below (AMENDMENT), entered into and effective on _____, 2019, is between the State of California, acting by and through its Department of Transportation, referred to herein as "STATE", and the City of Yuba City, hereinafter referred to as "CITY" and collectively referred to as "PARTIES".

RECITALS:

1. STATE and CITY, collectively referred to herein as "PARTIES", entered into an agreement on October 22, 2014, entitled "Landscape Maintenance agreement within State Highway Right of Way on Route 20 within the City of Yuba City" (AGREEMENT). AGREEMENT defined the terms and conditions applicable to CITY's maintenance of landscaping, irrigation systems, and the non-standard fence within STATE right of way along State Route 20, as shown in Exhibit A of AGREEMENT.
2. The purpose of this AMENDMENT is to assign and expand the maintenance responsibilities for the landscape, irrigation systems, (collectively the "LANDSCAPING") and the non-standard fence (hereafter the "FENCE") placed within the State Highway right of way on State Route 20, as shown on Exhibit A "Revised", attached to and made a part of this AGREEMENT.
3. STATE and CITY desire to amend AGREEMENT as provided herein.

IT IS THEREFORE MUTUALLY AGREED:

4. Article 1 of AGREEMENT is hereby deleted and replaced in its entirety to read as follows:

"1. PARTIES desire to work together to allocate their respective obligations relative to newly constructed or revised improvements within STATE's right of way by Encroachment Permit Numbers 0313-6FN0500, 0313-6LC0723, and 0319-6LC0149."
5. Exhibit "A" of AGREEMENT is hereby deleted and replaced by Exhibit A "Revised".
6. All other terms and conditions of AGREEMENT shall remain in full force and effect.
7. AMENDMENT is hereby deemed to be included and made a part of AGREEMENT.

IN WITNESS WHEREOF, PARTIES hereto have set their hands and seals the day and year first above written.

THE CITY OF YUBA CITY

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION

By: _____
Mayor

BOB FRANZOIA
Director of Transportation (A)


By: _____
Amarjeet S. Benipal
District 3 Director

ATTEST:

By: _____
Clerk

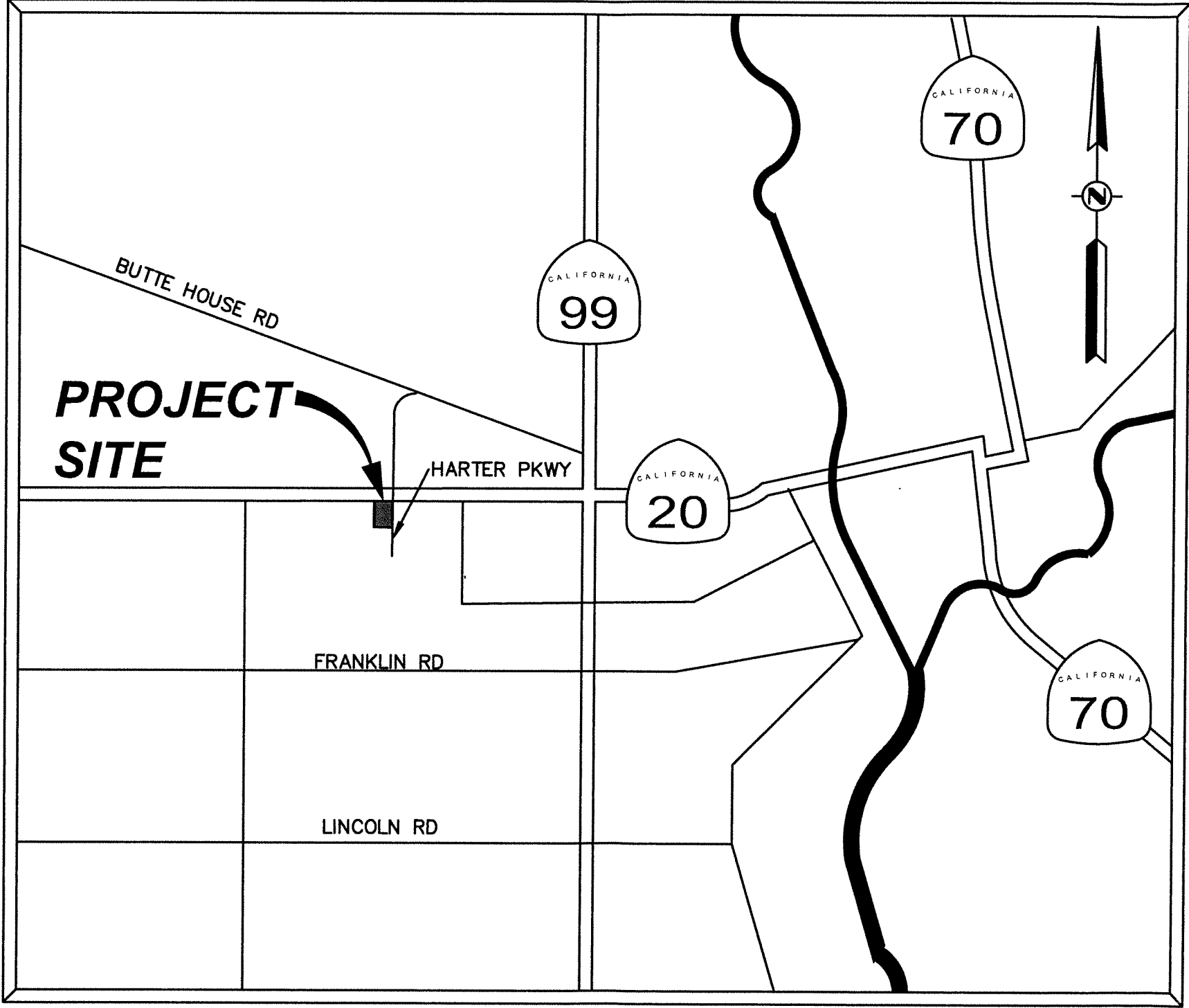
As to Form and Procedure:

By:  _____
Attorney

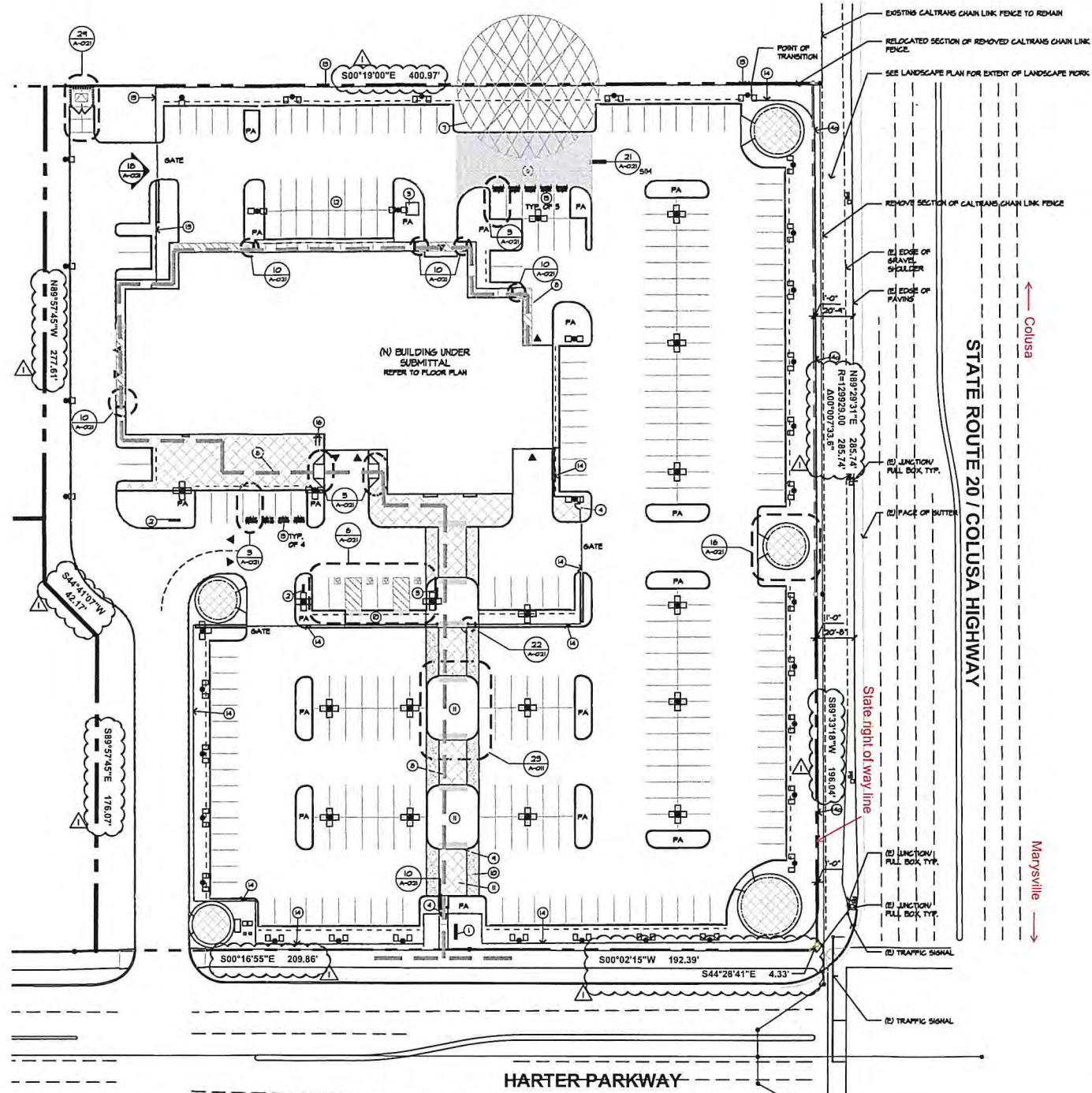
By:  _____
Attorney
Department of Transportation

LANDSCAPE MAINTENANCE AGREEMENT WITH CITY OF YUBA CITY
EXHIBIT A "Revised"

PAGE 1 OF 7
(03-SUT-20 PM 14.36 TO 14.6)



VICINITY MAP
NO SCALE



17 OVERALL SITE PLAN
1" = 50'

Parking provided for:	Stalls Required:	Stalls Provided:	Fuel Efficient Stalls Required:
New Parking Stalls	48.0		
Customer Parking	20.0	4.00000	
Employee/In-Service Parking	60.0	5.00000	
Display/Storage Parking	N/A	199.0	
Total Parking Stalls:		279.0	
Total Fuel Efficient Stalls Required (CalGreen Table 4.5.106.3.1.3)			9.00000
Boycide (5% total customer and employee / in-service parking)	4.00000		

GENERAL NOTES

- HORIZONTAL CONTROL FOR BUILDING LOCATIONS, SITE PARKING AND CONCRETE PAVEMENT LAYOUT SHALL BE PER CIVIL PLANS.
- LOCATIONS OF ALL EXISTING UTILITIES, UTILITIES, EASEMENTS AND STRUCTURES ON SITE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- IMPROVEMENTS DISCLOSED IN THIS PLAN ARE COORDINATED WITH CIVIL, ELECTRICAL AND LANDSCAPING CONSULTANTS. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CIVIL ENGINEER PRIOR TO CONSTRUCTION. NO WORK SHALL CONTINUE UNLESS APPROVED BY ARCHITECT OR CIVIL ENGINEER.
- SET CENTER OF LIGHT POLE BASE AT 2'-0" FROM BACK SIDE OF CURB CENTERED ON PARKING LOT STALL STRIPING. IF LOCATED AT WALKWAY, SET CENTER OF LIGHT POLE BASE AT 2'-0" FROM BACK SIDE OF WALKWAY UNLESS SPECIFIED OTHERWISE IN THE FIELD BY GENERAL CONTRACTOR, ELECTRICAL ENGINEER OR CIVIL ENGINEER.
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING OF CONSTRUCTION. COMMENCEMENT OF CONSTRUCTION INDICATES ACCEPTANCE OF EXISTING CONDITIONS.
- CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY AND BEFORE COMMENCING ANY WORK.

FIRE LANE NOTES

- AS INDICATED ON THE PLAN, CURBS SHALL BE PAINTED RED UPON WHICH IS MARKED IN PINK WORDS "NO PARKING - FIRE LANE". LETTERS TO BE WHITE 8" IN HEIGHT, HAVE A 3/4" STROKE, AND BE REPEATED AT NOT LESS THAN 25'-0" INTERVALS.

SITE KEY NOTES

- MONUMENT SIGN BY SIGN VENDOR
- DIRECTIONAL SIGNAGE - GROUND MOUNTED CONFIGURATION BY SIGN VENDOR
- DIRECTIONAL SIGNAGE - POLE MOUNTED CONFIGURATION BY SIGN VENDOR
- EXPRESS GATE IN PERIMETER FENCING
- TRANSFORMER - SEE ELECTRICAL DRAWINGS
- PERVIOUS PAVING MATERIAL AREA (CALSTONE AND PAVERS, COLOR: CHARCOAL)
- (R) TREE TO REMAIN - PROTECT DURING CONSTRUCTION
- PATH OF TRAVEL
- TACTILE MARKING SURFACE - FLUSH W/ ACCENT PAVING MATERIAL (COLOR: LT. GREY)
- SLOPED ACCENT PAVING MATERIAL - STANDARD LT. CONCRETE COLOR
- ACCENT PAVING MATERIAL (4" FROM A.C.) - CONCRETE COLOR (DARK, DARK GREY/BLACK) (NO.4) IN STANDARD CONC. COLOR CURB @ PERIMETER
- TANDEM PARKING STALLS FOR IN-SERVICE VEHICLES
- 8" HIGH ORNAMENTAL IRON PERIMETER FENCING - PER DET. (A-02)
- 3" HIGH ORNAMENTAL IRON PERIMETER FENCING, 1'-0" OFF PROPERTY LINE ALONG COLUSA HIGHWAY - PER DETAIL (A-02)
- "CLEAN ARCHITECTURAL" STALL MARKING PER 200 CALGREEN CODE 3.100.3.2
- 2-BIKE CAPACITY RACK PER DETAIL (A-02)

SITE LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- FIRE LANE (A-02)
- TRUNCATED DOMES
- ACCESSIBLE PARKING SIGNAGE
- ELECTRICAL TRANSFORMER
- PARKING LOT LIGHT POLE - COORDINATE LOCATIONS WITH ELECTRICAL PLANS
- LIGHT BOLLARD - COORDINATE LOCATIONS WITH ELECTRICAL PLANS
- STORM DRAIN - COORDINATE LOCATIONS WITH CIVIL IMPROVEMENT DRAWINGS
- FIRE HYDRANT - COORDINATE WITH CIVIL IMPROVEMENT DRAWINGS
- LANDSCAPE PLANTER AREA

ARCHITECTURAL SITE PLAN

PROJECT NO: 08-24-2013
DATE: 08-24-2013
JOB NO: 08152-5

AS SHOWN

Sheet 1

A-011

ARCHITECTURAL GROUP
Borges
ARCHITECTURE
PLANNING
INTERIORS

1478 STONE POINT DRIVE
SUITE 330
ROSEVILLE CA 95661
T 916 782 7200
F 916 773 1017
BORGESARCH.COM

PROPOSED "NEW" BUILDING FOR
YUBA CITY DODGE CHRYSLER
NEW DEALERSHIP
960 HARTER PARKWAY
Yuba City, CA 96989

EXHIBIT A REVISED

Landscape Maintenance Agreement
with City of Yuba City

Encroachment Permit 0313-6FN0500

PAGE 3 OF 7

LEGEND

—○— IRON FENCE TO BE MAINTAINED BY CITY AT CITY EXPENSE

--- STATE RIGHT OF WAY LINE

▭ LANDSCAPE TO BE MAINTAINED BY CITY AT CITY EXPENSE

PLANTING NOTES

1. ALL WORK SHALL BE IN FULL ACCORD WITH CALTRANS STANDARD DETAILS AND SPECIFICATIONS.
2. SEE "YUBA CITY DODGE CHRYSLER AUTOMOTIVE DEALERSHIP" DRAWINGS FOR ALL WORK OUTSIDE THE STATE HIGHWAY 20 RIGHT-OF-WAY.
3. ALL ON-SITE SPECIFICATIONS THAT ARE NOT IN CONFLICT WITH CALTRANS DOCUMENTS APPLY TO THIS WORK.

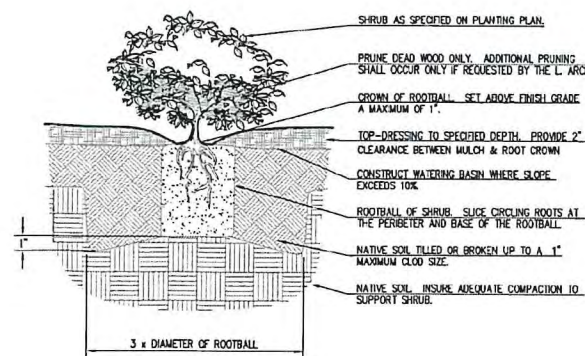
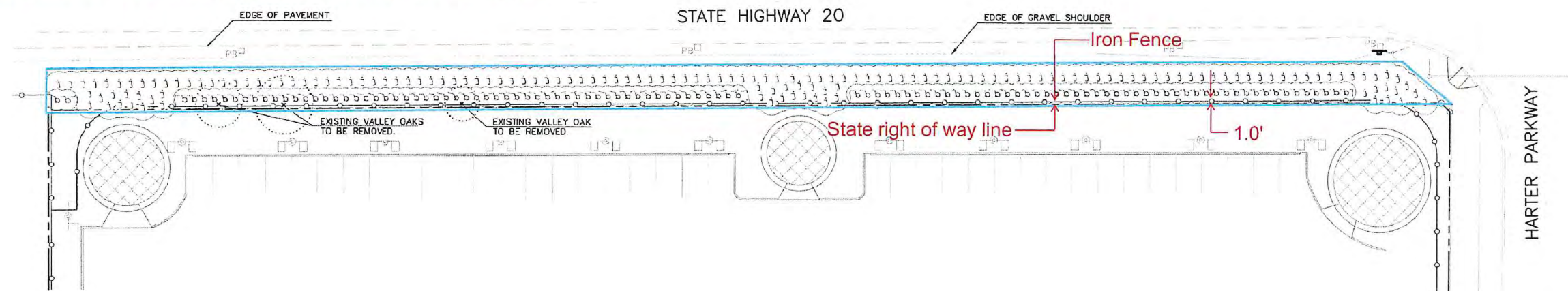
PLANT LIST & LEGEND

SYMBOL	BOTANIC NAME/Common Name	SIZE	QUANTITY
BAP	BACCHARIS P. "TWIN PEAKS"/DWF. COYOTE BRUSH	1 GALLON	108
JNB	JUNIPERUS SABINA "BROADMOOR"/PROSTRATE JUNIPER	1 GALLON	154

The State of California or its officers or agents shall not be responsible for the accuracy or completeness of electronic copies of this plan sheet.
To get to the Caltrans web site, go to: <http://www.dot.ca.gov>



Garth Ruffner Landscape Architect (916) 797-2576
4120 Douglas Blvd., Suite 205, Roseville, CA 95746-5336
GarthRuffner.com California P.L.A. #2858



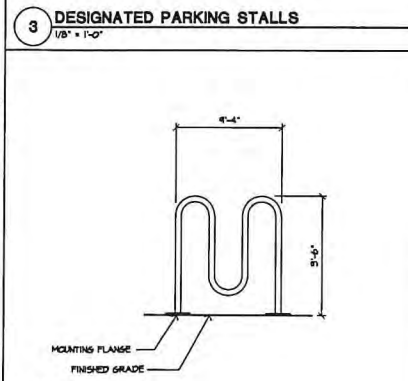
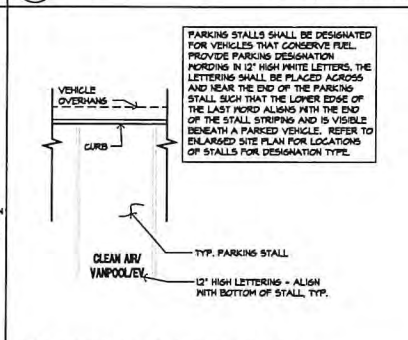
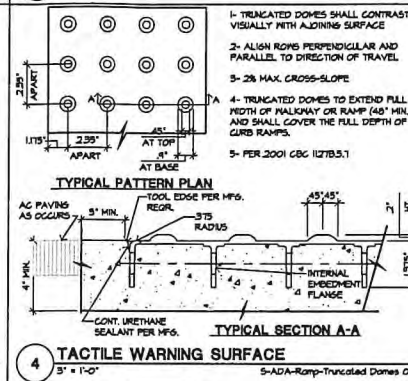
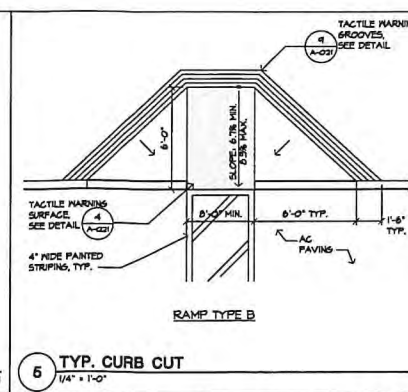
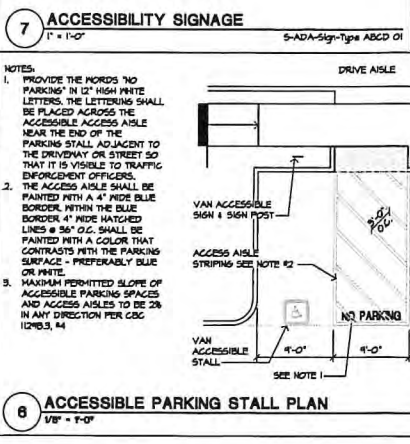
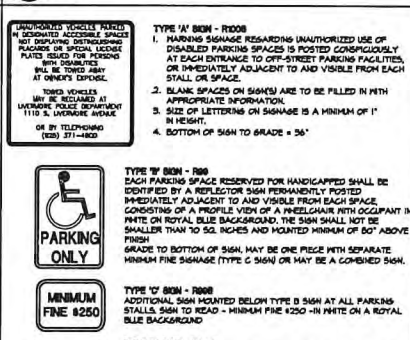
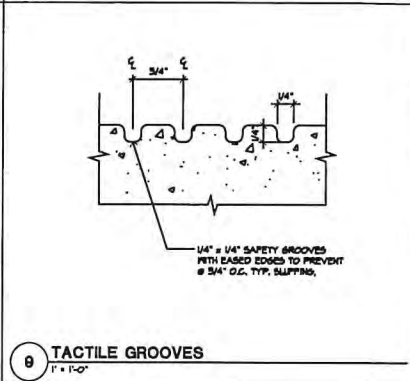
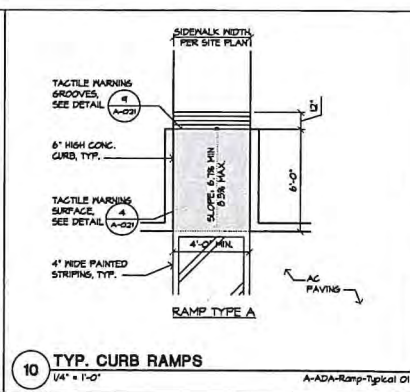
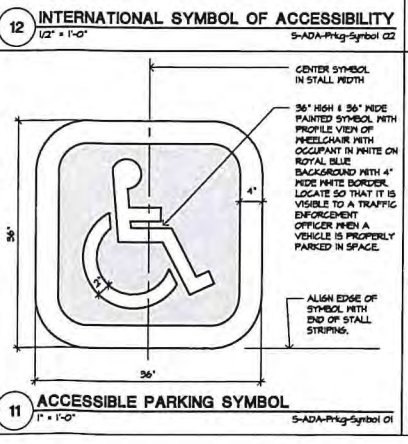
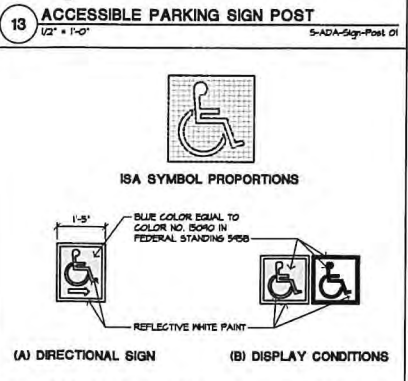
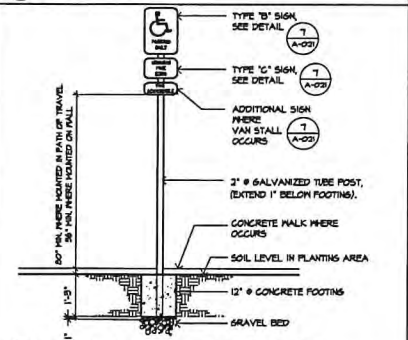
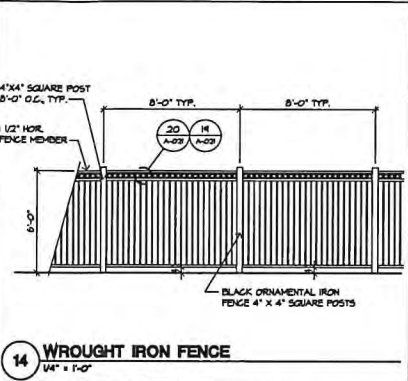
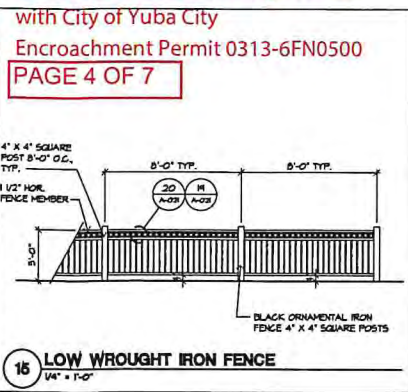
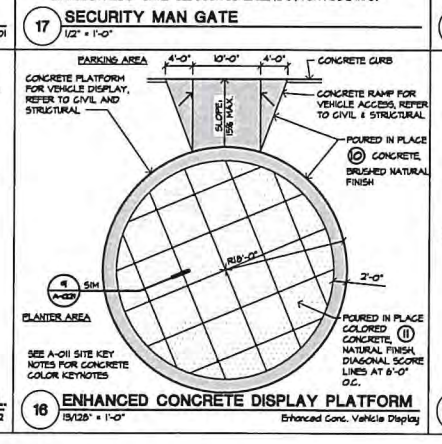
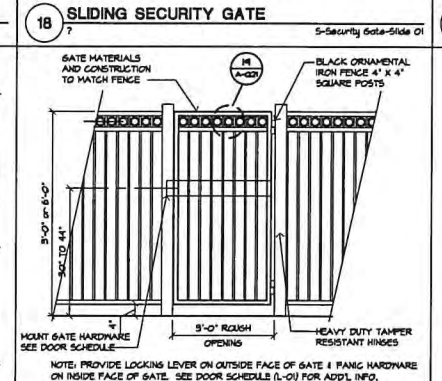
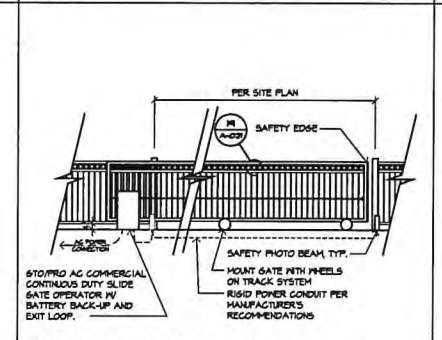
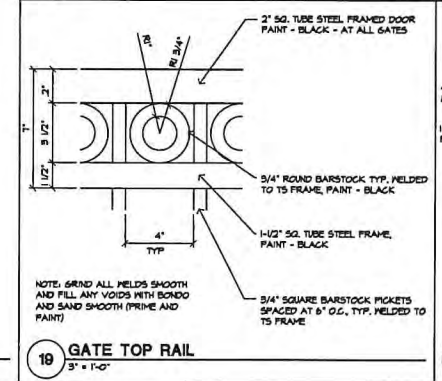
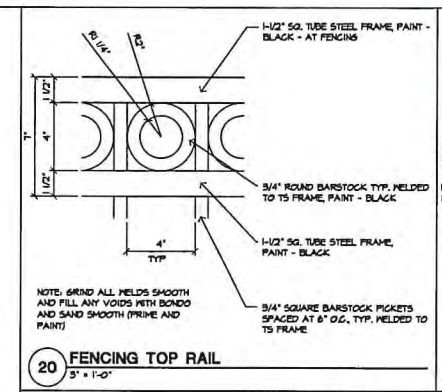
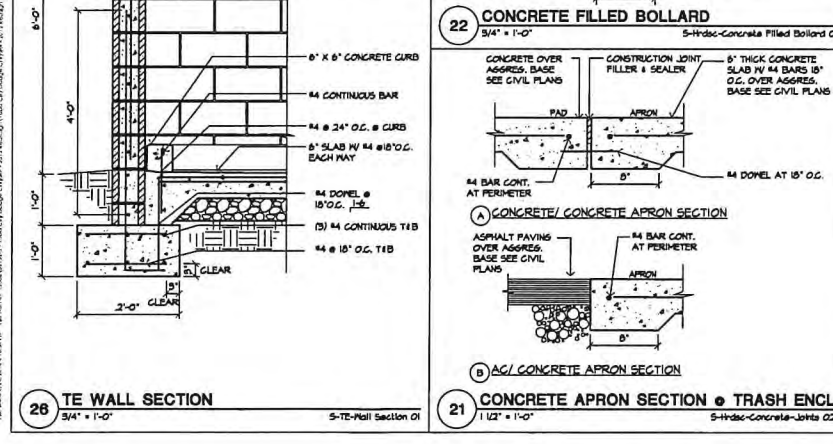
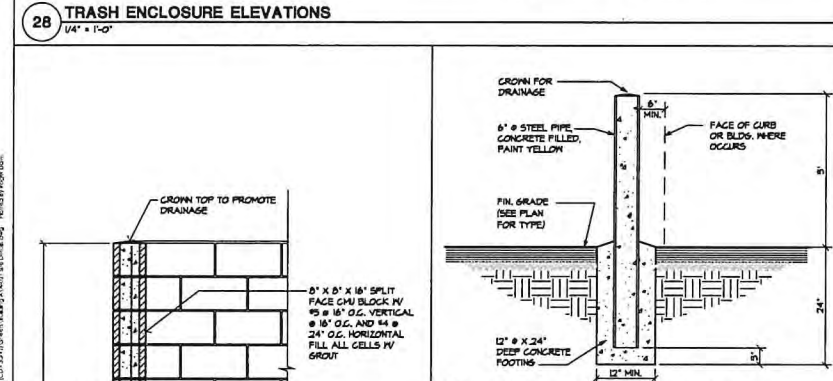
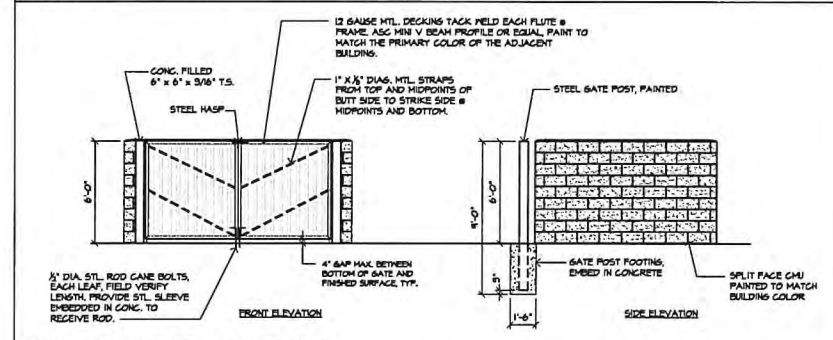
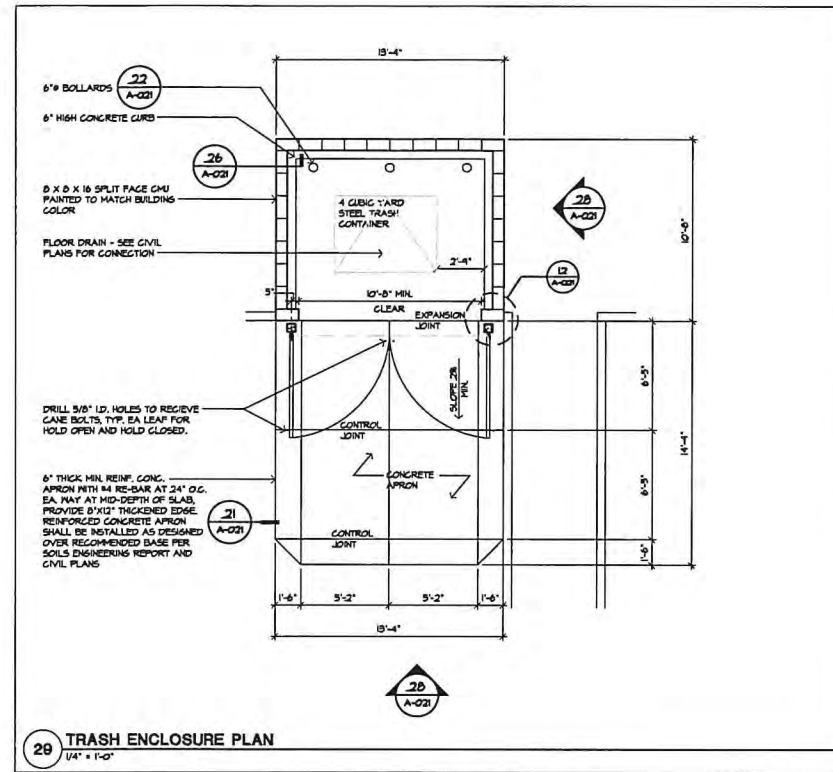
STATE ROUTE 20/HARTER PARKWAY
ENCROACHMENT PERMIT

PLANTING
PLAN

1"=20'-0"

LA-2

PLANTING PLAN



Architectural Group
Borges
ARCHITECTURE
PLANNING
INTERIORS

178 STONE POINT DRIVE
SUITE 118
ROSELLE CA 95661
TEL 916 787 7200
F 916 773 1017
BORGESARCH.COM

PROPOSED "NEW" BUILDING FOR:
YUBA CITY DODGE CHRYSLER
NEW DEALERSHIP
950 HARTER PARKWAY
Yuba City, CA 95993

Sheets Title: **SITE DETAILS**

Date	By	Remarks
08-24-2013	Borges Job No.	08152-3
AS SHOWN		

Scale: AS SHOWN

Sheet #: **A-021**

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03/22/2013

DRAWN FOR:
HILBERS CONSTRUCTION
1210 STABLER LANE
YUBA CITY, CA 95901 530.673.2947

IRRIGATION LAYOUT
YUBA CITY TOYOTA DEALERSHIP
HARTER PARKWAY/HWY 20

DRAWN BY: BARROW'S LANDSCAPING
DESIGN BY: K. BARROW
CONTRACTOR'S LIC. # 428583 C-27
PHONE: (530) 974-9500
FAX: (530) 974-9500

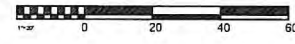
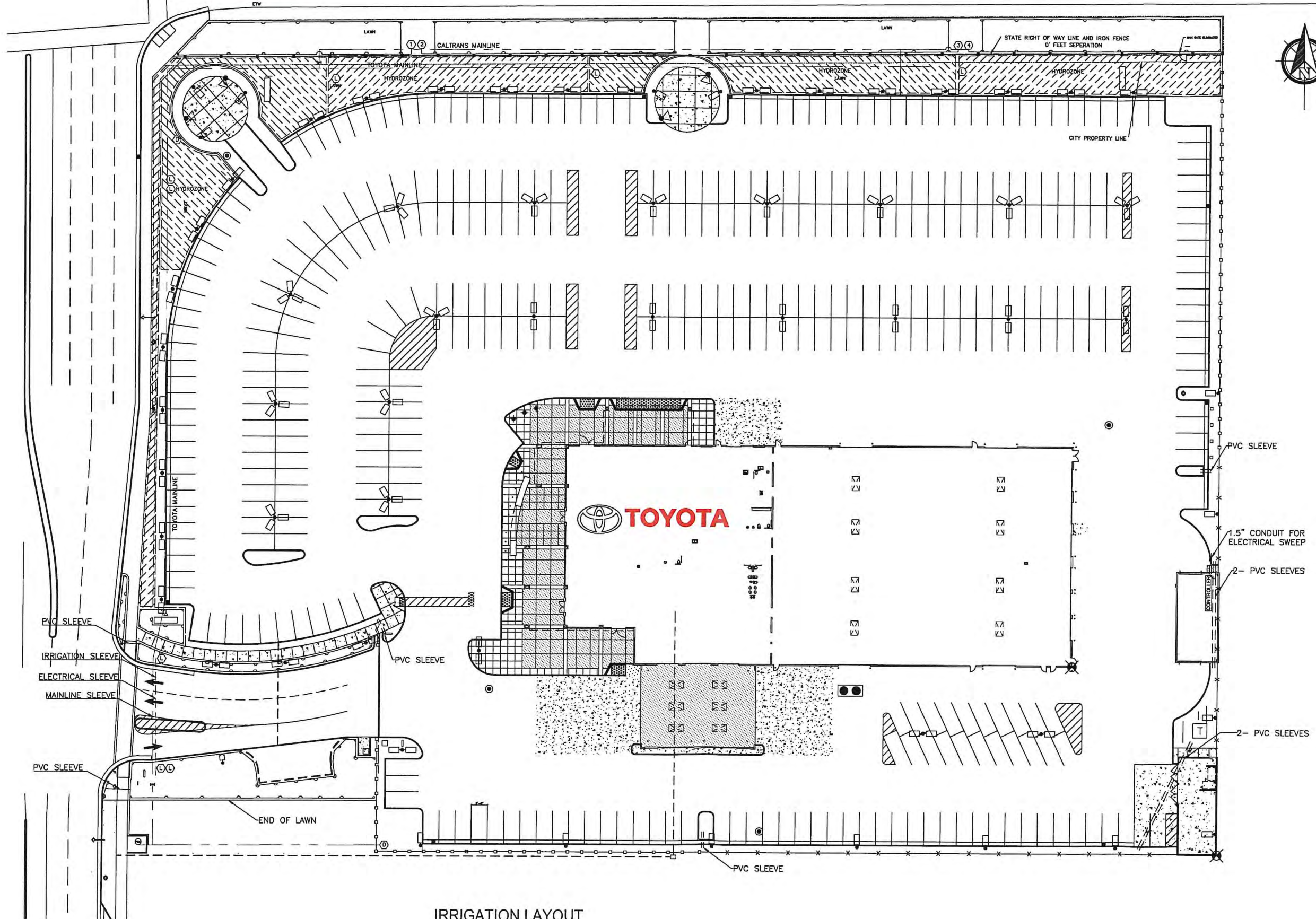


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JULY 2013

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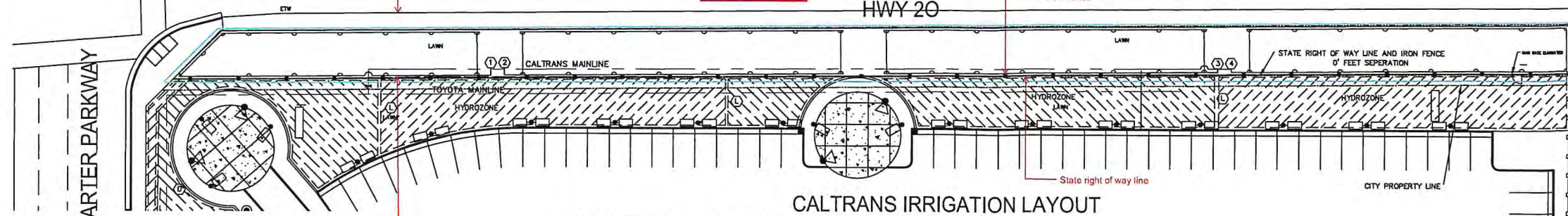
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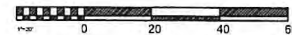


IRRIGATION LAYOUT

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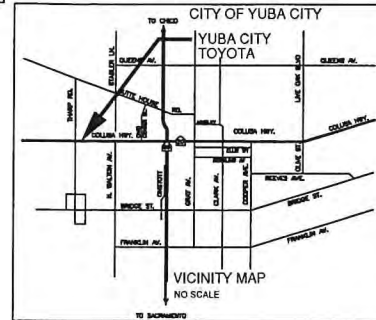


CALTRANS IRRIGATION LAYOUT



CALTRANS FRONTAGE LEGEND AND NOTES

	IRON FENCE TO BE MAINTAINED BY CITY AT CITY'S EXPENSE
	STATE RIGHT OF WAY LINE
	LANDSCAPE AREA TO BE MAINTAINED BY CITY AT CITY'S EXPENSE



IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMATIC. ALL PIPING, VALVES AND EQUIPMENT SHOWN IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN THE PLANTING AREAS SO AS TO CONFORM WITH THE VARIOUS DETAILS.
- VERIFY EXISTING WATER PRESSURE AND FIELD DIMENSIONS. DISCREPANCIES SHALL BE REPORTED TO THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. IF NOTIFICATION IS NOT MADE, THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COST FOR NECESSARY REVISIONS.
- USE COMMON TRENCHES WHERE POSSIBLE. INSTALL PRESSURIZED LINES TO A DEPTH OF 18 INCH COVER. INSTALL LATERAL LINES WITH A MINIMUM DEPTH OF 12 INCHES.
- 120 V POWER FOR CONTROLLER SHALL BE INSTALLED BY OTHERS
- ALL PIPE AND WIRE UNDER PAVED AREAS SHALL BE RUN THROUGH SCH 40 PVC SLEEVES. SIZE OF SLEEVE TO BE TWICE THE DIAMETER SIZE OF PIPE. CONTRACTOR RESPONSIBLE FOR INSTALLING SLEEVES WITH APPROPRIATE QUANTITY AND LOCATIONS. CONTROL WIRE SHALL OCCUPY THE SAME TRENCH AS PRESSURE LINES WHEREVER POSSIBLE. SEPARATION OF PIPE IN TRENCH TO BE ACHIEVED WITH NATIVE TOPSOIL. COMMON WIRE SHALL BE WHITE LEAD.
- SPLICES SHALL BE MADE WITH SCOTCH-LOK 3M DBY/DBR CONNECTOR PACKS, OR EQUAL. INSTALL SPLICES IN IRRIGATION VALVE BOX WITH LID. CONTROL WIRES SHALL BE A MINIMUM #14 U.F. 600 VOLT COPPER.
- FLUSH ENTIRE SYSTEM BEFORE INSTALLING SPRINKLER HEADS.
- SPACING OF HEADS SHALL NOT EXCEED THAT SHOWN ON DRAWING. PERFORM COVERAGE TEST PRIOR TO PLANTING. ADJUST ALL HEADS SO AS TO PREVENT OVERSPRAY ONTO WALKS AND BUILDINGS YET ENSURE FULL COVERAGE.
- ALL MATERIAL IS SPECIFIC TO THIS DESIGN. THE IRRIGATION SYSTEMS HAVE BEEN DESIGNED ACCORDING TO THE OPERATIONAL CHARACTERISTICS OF THE SPECIFIED EQUIPMENT. IF ANY CHANGES OR SUBSTITUTIONS ARE MADE WITHOUT APPROVED WRITTEN CALCULATIONS, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR THE RESULTS OF THOSE CHANGES.
- THE CONTRACTOR SHALL WARRANT THE SYSTEM TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR. ALL REPAIRS NECESSARY DURING THAT PERIOD SHALL BE MADE AT NO COST TO THE OWNER.
- PROVIDED BY OTHERS COORDINATED WITH GENERAL CONTRACTOR, A SWEEP FOR IRRIGATION WIRES TO BE RUN FROM THE IRRIGATION CONTROLLER LOCATION TO THE OUTSIDE OF THE FOUNDATION.
- INSTALL LARGE HEAVY DUTY SPRINKLER BLOCKS ALONG HWY 20 ROAD FOR PROTECTION OF IRRIGATION HEADS.
- THE FOUR HWY 20 VALVES TO BE WIRED INTO TOYOTA IRRIGATION CONTROLLER.

- 30-INCH LINEAR LENGTH OF WIRE, COILED
- WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
- ID TAG: RAIN BIRD VID SERIES
- REMOTE CONTROL VALVE: RAIN BIRD PEB WITH NP-HAN
- VALVE BOX WITH COVER: RAIN BIRD VB-STD WITH BOLT KIT
- FINISH GRADE/TOP OF MULCH
- PVC SCH 80 NIPPLE (CLOSE) FOLLOWED BY BALL VALVE
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- BRICK (1 OF 4)
- PVC MAINLINE PIPE
- SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- PVC SCH 40 MALE ADAPTER
- PVC LATERAL PIPE
- 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

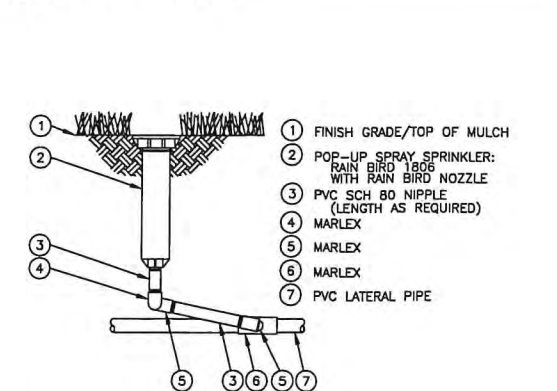
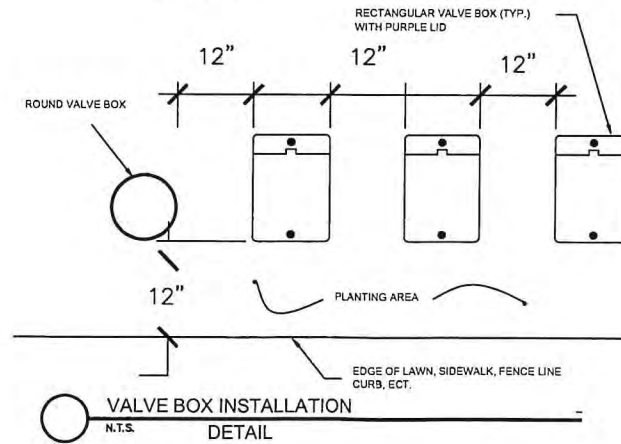


IRRIGATION LEGEND

	AUTOMATIC CONTROLLER - ESPME OUTDOOR CLOCK CONNECT ALL VALVES TO RAINBIRD ESP-LKME CONTROLLER COORDINATE WITH GENERAL CONTRACTOR FOR EXACT LOCATION. 110V PROVIDED BY OTHERS. PROVIDE WIRE FROM VALVES TO IRRIGATION CONTROLLER.
	POINT OF CONNECTION POC: PROVIDED BY OTHER
	REDUCED PRESSURE BACKFLOW PREVENTION DEVICE PROVIDED BY OTHERS
	GATE VALVE TYPE: NIBCO WITH A NON-RISING STEM AND HANDWHEEL. GATE VALVE INSTALLED IN A VALVE BOX WITH TOP OF BOX SET FLUSH TO FINISH GRADE. GATE VALVE TO BE LINE SIZE.
	PRESSURE MAIN LINE TYPE: ASTM D1185, PVC SCH 40 TRENCH DEPTH: 24 INCHES UNDER PAVED AREAS: 24 INCHES PLANTED AREAS: 18 INCHES PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT
	LATERAL LINE TYPE: PVC CLASS 200, SOLVENT WELD ALL MINIMUM SIZED PIPE SHALL BE 3/4" SIZE. TRENCH DEPTH: IN ALL AREAS: 12" MINIMUM COVER UNDER PAVED AREAS: 24 INCHES MINIMUM COVER PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT
	AUTOMATIC CONTROL VALVE: RAINBIRD VALVES. INSTALL ONE VALVE PER VALVE BOX WITH PVC BALL VALVE ON PRESSURE SIDE OF MAINLINE. VALVE NUMBERING
	SHRUB AND LAWN POP-UP SPRAY HEADS: RAINBIRD: 1806 NOZZLE SPRINKLERS PER SPACING AND AREA
	SLEEVING TYPE: SCH 40 SIZED TWICE THE DIAMETER OF PIPE SIZE. PROVIDE SEPARATE CONDUIT FOR IRRIGATION CONTROL WIRES UNDER PAVING. CONTRACTOR TO PROVIDE ALL NECESSARY SLEEVING FOR PROJECT. SLEEVE QUANTITIES, LOCATION, AND SIZING ARE APPROXIMATE.
	PLANTERS: SURFACE DRIP XLZ-100-PRBR XDF ON-SURFACE DRIFLINE STAPLE EVERY 5 FEET TO SECURE DRIP TUBE
	LAWN: SUB SURFACE DRIP XLZ-100-PRBR XFS SUBSURFACE DRIFLINE INSTALL APPROPRIATE AIR RELIEF VALVES AND FLUSH VALVES.
	CONTROL WIRE 18 GAUGE U.F. 600 VOLT DIRECT BURIAL MULTI-STRAND

NOTES:

- CENTER BOXES OVER VALVES. INSTALL 1 VALVE PER VALVEBOX
- SET BOXES IN GROUND/SHRUBS AREAS WHERE POSSIBLE.
- SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGES.
- AVOID HEAVILY COMPACTING SOIL AROUND BOXES TO PREVENT DAMAGING VALVE BOXES
- IF VALVE IS LOWER THAN BOTTOM OF VALVE BOX, ADD EXTENSION SLEEVE TO BOX.



POP-UP SPRAY SPRINKLER
N.T.S. 1806 WITH SWING JOINT

REVISION
REV: 01/11/13

REVISION
REV: 02/28/13

REVISION
REV: 02/28/13

DRAWN FOR:
HILBERS CONSTRUCTION
1210 STABLER LANE
YUBA CITY, CA 95901 530.673.2947

CALTRANS IRRIGATION LAYOUT
YUBA CITY TOYOTA DEALERSHIP
HARTER PARKWAY/ HWY 20

DRAWN BY: BARROWS LANDSCAPING
DESIGN BY: K. BARROW
CONTRACTOR'S LIC. #45593 C-27-000
PHONE: (530) 711-5500
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SCALE 1"=20'
JULY 2013

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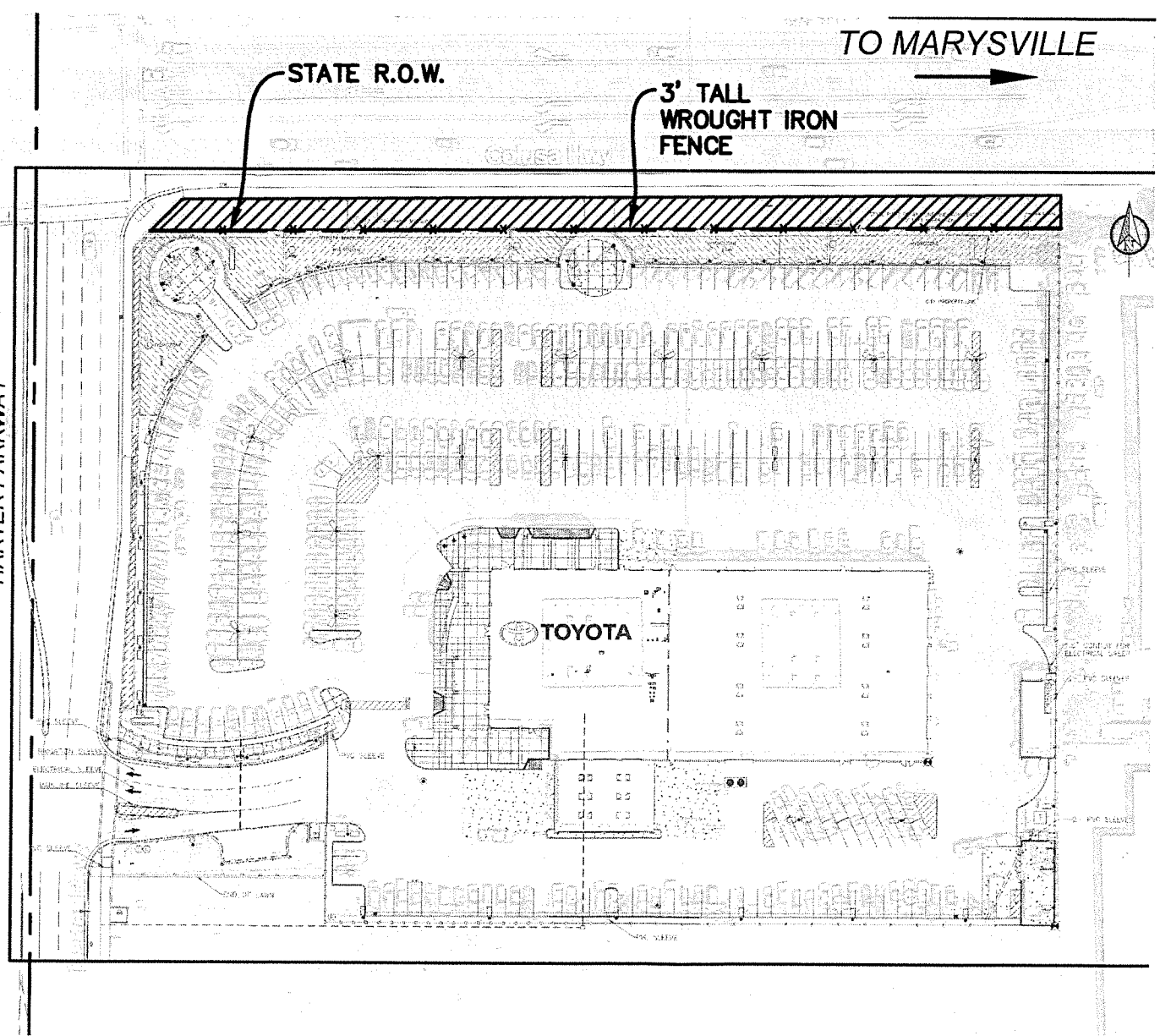
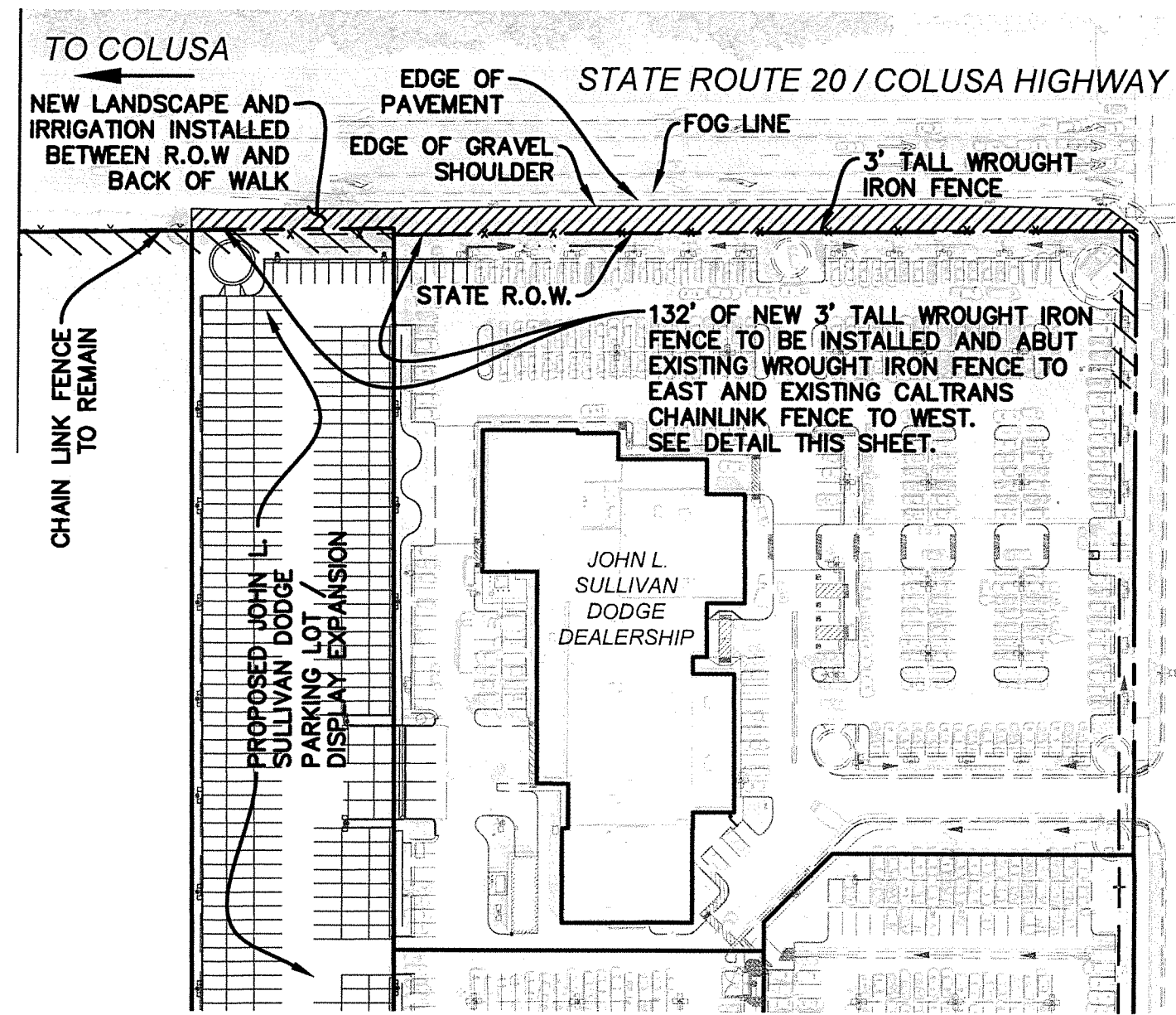
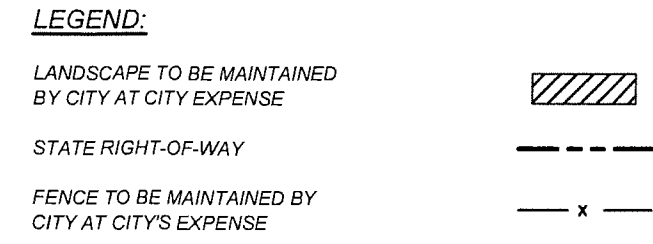
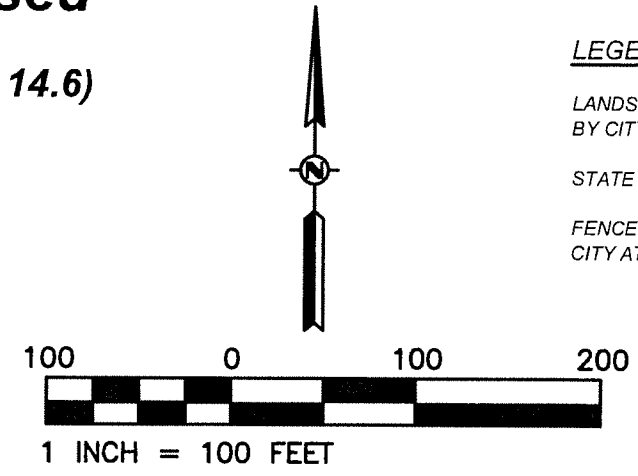
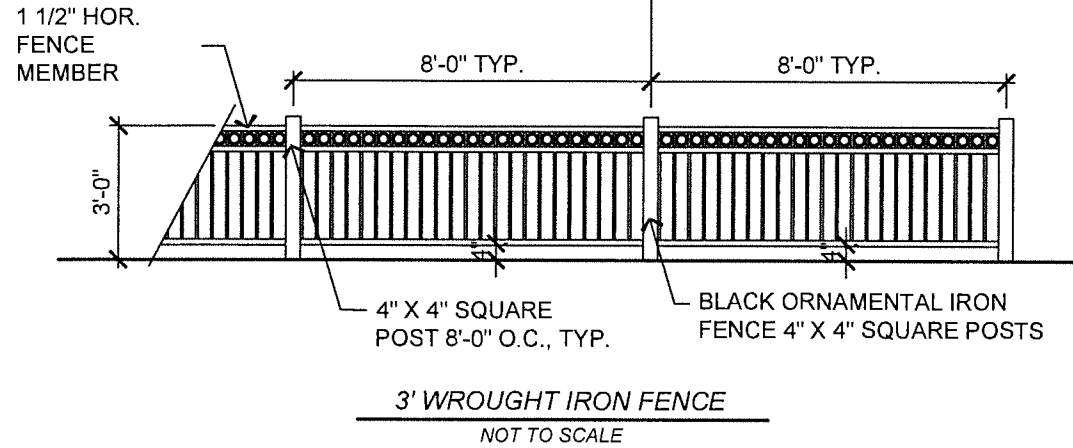
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LANDSCAPE MAINTENANCE AGREEMENT WITH CITY OF YUBA CITY ENCROACHMENT PERMIT NO. 0319-6LC0149

EXHIBIT A "Revised"

PAGE 7 OF 7

(03-SUT-20 PM 14.36 TO 14.6)

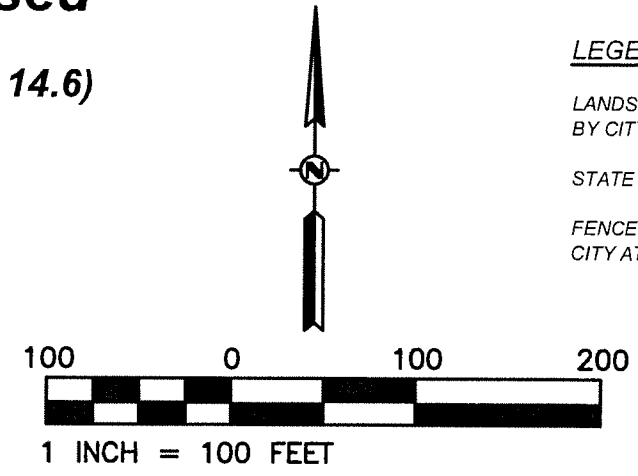
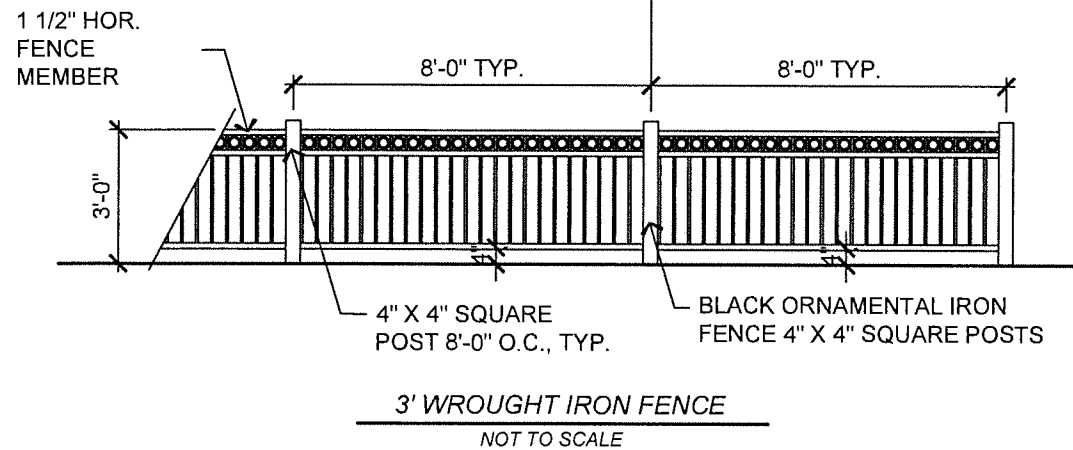


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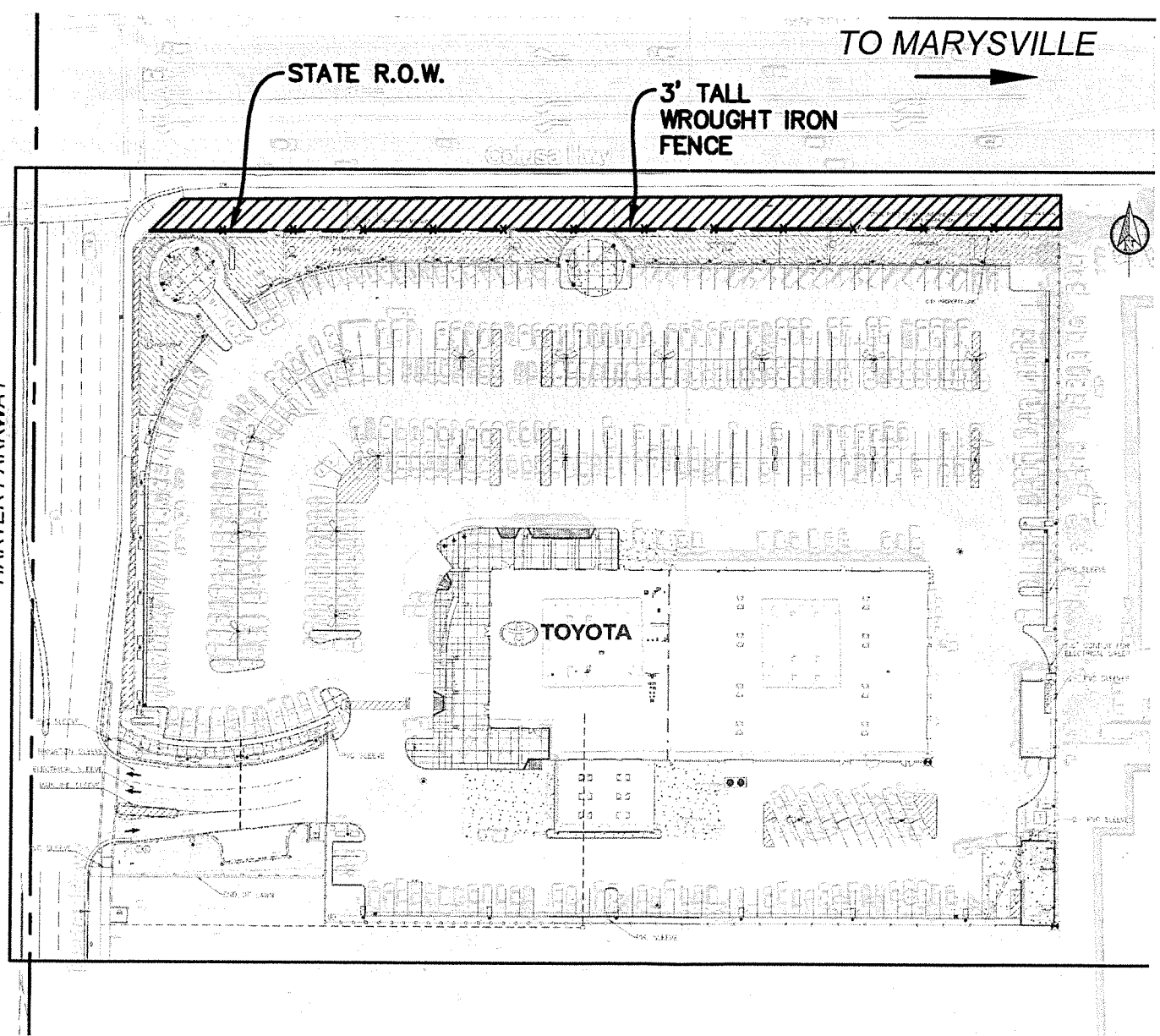
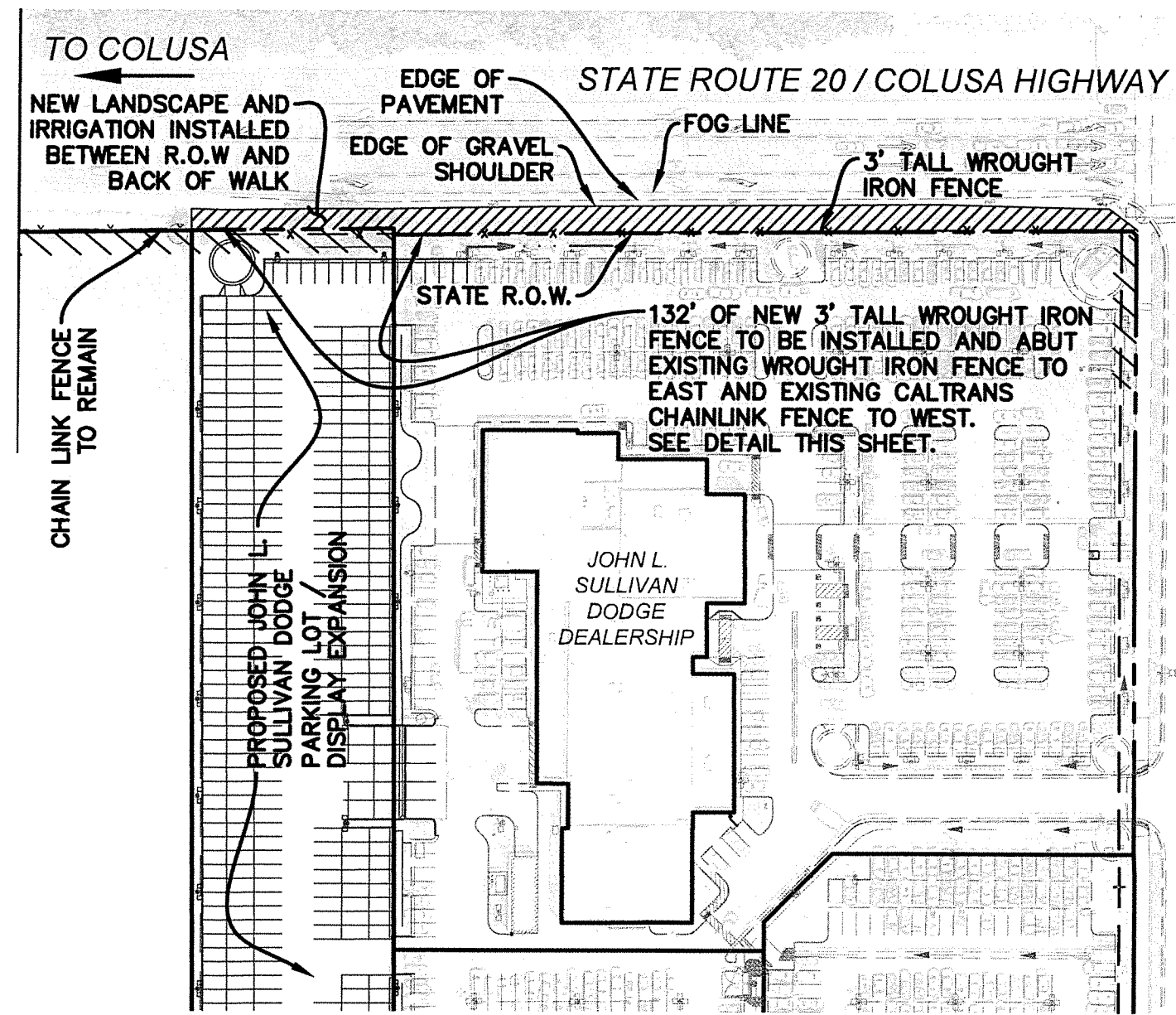
LANDSCAPE MAINTENANCE AGREEMENT WITH CITY OF YUBA CITY ENCROACHMENT PERMIT NO. 0319-6LC0149

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PAGE 7 OF 7
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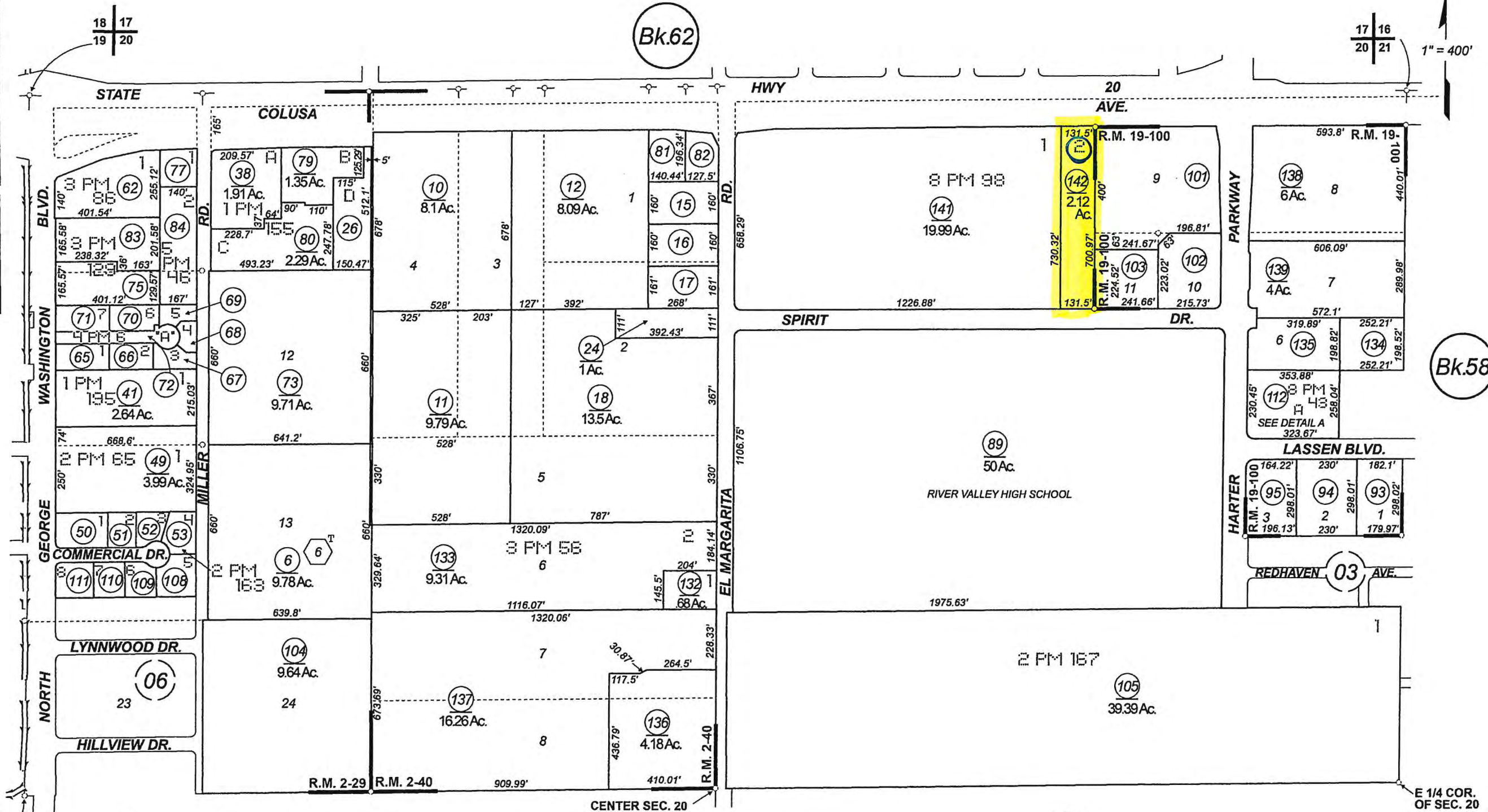
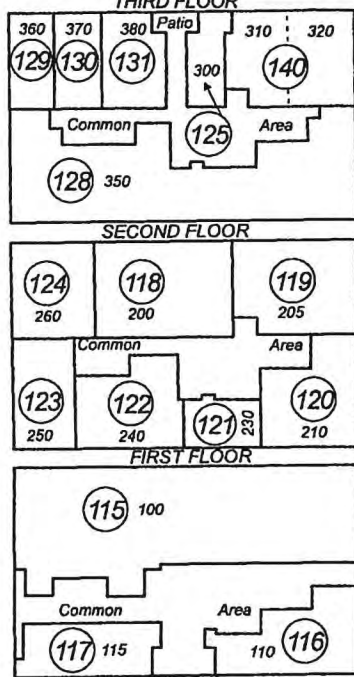


- LEGEND:**
- LANDSCAPE TO BE MAINTAINED BY CITY AT CITY EXPENSE
 - STATE RIGHT-OF-WAY
 - FENCE TO BE MAINTAINED BY CITY AT CITY'S EXPENSE x



ATTACHMENT 3

Detail A
West Horizon Business Park Condominiums
Recorded 12/18/2009 No. 2009-0019871 and 2009-0019872



02

Bk.58

W 1/4 COR. OF SEC. 20

04

El Marguerita Tract, R.M. Bk. 2, Pg. 40
Miller-Eager Tract, R.M. Bk. 2, Pg. 29
River Valley Commercial Center, R.M. Bk. 19, Pg. 100

TRANSITORY UNIT

04

NOTE:
Assessor's Parcel Numbers
Shown in Circles

Assessor's Map Bk. 63 - Pg. 01
County of Sutter, Calif.
2018

Note - Assessor's Block Numbers & Lot Numbers Shown in Circles